

UNITED STATES DEPARTMENT OF THE INTERIOR  
NATIONAL PARK SERVICE

OMB Approved  
No. 1024-0009  
Expires 8/31/86

HISTORIC PRESERVATION CERTIFICATION APPLICATION  
PART 1 - EVALUATION OF SIGNIFICANCE

NPS Office Use Only

Project Number:

0366-84-SC

Instructions: Read the instructions carefully before completing application. No certification will be made unless a completed application form has been received. Use typewriter or print clearly in black ink. If additional space is needed, use continuation sheets or attach blank sheets.

1. Name of property: Not Named  
Address of property: 35 Legare Street  
City: Charleston County: Charleston State: SC Zip Code: 29401  
Name of historic district: Charleston Old and Historic District

☒ National Register district ☐ certified state or local district ☐ potential historic district

2. Check nature of request:

- ☒ certification that the building contributes to the significance of the above-named historic district for the purpose of rehabilitation.  
☐ certification that the structure or building and, where appropriate, the land area on which such a structure or building is located contributes to the significance of the above-named historic district for a charitable contribution for conservation purposes.  
☐ certification that the building does not contribute to the significance of the above-named district.  
☐ preliminary determination for individual listing in the National Register.  
☐ preliminary determination that a building located within a potential historic district contributes to the significance of the district.  
☐ preliminary determination that a building outside the period or area of significance contributes to the significance of the district.

3. Authorized project contact:

Name: Preservation Consultants, Inc. Title: Consultant  
Street: Post Office Box 1112 City: Charleston  
State: South Carolina Zip: 29402 Telephone Number (during day): (803) 723-1746

4. Owner:

Name: Salley B. Davidson  
Street: 35 Legare Street City: Charleston  
State: South Carolina Zip: 29401 Telephone Number (during day): (803) 577-5410

I hereby attest that the information I have provided is, to the best of my knowledge, correct, and that I own the above-named property.

Owner's Signature: Salley B. Davidson Date: 1/24/84  
Social Security Number or Taxpayer Identification Number: XXX-XX-8890X

NPS Office Use Only

The National Park Service has reviewed the "Historic Preservation Certification Application - Part 1" for the above-named property and hereby determines that the property:

- ☒ contributes to the significance of the above-named district and is a "certified historic structure" for the purpose of rehabilitation.  
☐ contributes to the significance of the above-named district and is a "certified historic structure" for a charitable contribution for conservation purposes in accordance with the Tax Treatment Extension Act of 1980.  
☐ does not contribute to the significance of the above-named district.

Preliminary Determinations:

- ☐ appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.  
☐ does not appear to meet the National Register Criteria for Evaluation and will likely not be listed in the National Register.  
☐ appears to contribute to the significance of a potential historic district, which will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer.  
☐ appears to contribute to the significance of a registered historic district but is outside the period or area of significance and does not meet the National Register nomination or district documentation on file with the NPS.  
☐ does not appear to qualify as a certified historic structure.

DEC 19 1984

Date

National Park Service Authorized Signature

SOUTHEAST REGION  
75 SPRING ST., S.W.  
ROOM  
ATLANTA, GA. 30303

National Park Service Office



**Historic Preservation Certification  
Application Part One**

**20 NOVEMBER 1984**

**Preservation Consultants, Inc.**

**25 Broad Street (P. O. Box 1112)  
Charleston, South Carolina 29402  
(803) 723-1746**

HISTORIC PRESERVATION  
CERTIFICATION APPLICATION—  
PART 1

NPS Office Use Only

Not Named

Property Name

35 Legare Street

Property Address

Salley B. Davidson/057-40-3890

Owner Name/Social Security or Taxpayer ID Number

Project Number:

5. Description of physical appearance:

35 Legare Street is a 2-1/2 story frame structure with a metal mansard roof. Stuccoed brick interior chimneys are located flush with the north wall. Dormers, with arched metal roofs, are located on the north, east, and west faces of the roof. The principal east facade is two bays wide with a hexagonal bay to the north and a two-tier piazza to the south. Windows in the bay are 2/2 light double hung sash and are flanked on either side by decorative wooden pilasters. The principal entrance to the piazza has an

(See Continuation Sheet)

Date of Construction: ca 1835 Source of Data: Property and Tax Records

Date(s) of Alteration(s): ca 1870

Has building been moved? ☐ yes ☒ no. If so, when? \_\_\_\_\_

6. Statement of significance:

35 Legare Street is a typical example of 19th century Charleston residential architecture. Constructed ca. 1835, the house was remodeled ca. 1870 with the addition of a mansard roof, dormers, and bay window. The structure retains a wealth of interior and exterior detailing from both of these periods. The overall integrity of the structure's historical appearance and its relationship to the surrounding neighborhood remain intact as well.

35 Legare Street is rated Group 3, "Significant," in the 1973 Historic Architecture Inventory of Charleston, by Carl Feiss and Russell Wright. Group 3 is defined as: "Good architectural quality. Vernacular. Of less sophistication and refinement than 'excellent'. Modest, appealing, curious, interesting. To be retained and protected."

7. Photographs and maps.

Attach photographs and maps to application.

Continuation sheets attached: ☐ yes ☐ no

CONTINUATION SHEET

Not Named  
Property Name  
35 Legare Street  
Property Address  
Salley B. Davidson/057-40-3890  
Owner Name/Social Security or Taxpayer ID Number

Historic Preservation  
Certification Application

NPS Office Use Only

Project Number:

This sheet: ☐ continues Part 1 ☐ continues Part 2 ☐ amends Project.

NPS Project Number:

**5. Description of Physical Appearance, Continued:**

entablature surround and the second level of the piazza has been infilled with a screen enclosure.

The two-tier piazza extends across the entire five bay south elevation. Centrally placed entrances on the first and second floor levels are flanked on either side by two 6/6 double hung sash windows with wooden shutters. The west elevation is partially obscured by the rear service wing and has windows similar to those found on the south elevation. The north elevation has 6/6 sash windows with wooden blinds extending along both levels.

A two story brick service building, set in common bond and having a gable roof, is connected to the west elevation of the main house by a frame infill structure. The principal south facade of the service building is seven bays wide with a full-width two-tier piazza. Rectangular entrance doors are found in the first, fourth, and fifth bays. 6/6 sash wood windows are located in the second and third bays, and a large arched service opening is located in the seventh bay of the first floor level. Similar windows and rectangular doors are found on the second level. A stuccoed brick exterior staircase is located at the west end of the piazza.

(See Continuation Sheet)

Owner's Signature \_\_\_\_\_ Date \_\_\_\_\_

NPS Office Use Only

- ☐ The National Park Service has determined that these project amendments meet the Secretary of the Interior's "Standards for Rehabilitation."
- ☐ The National Park Service has determined that these project amendments do not meet the Secretary of the Interior's "Standards for Rehabilitation."

Date

National Park Service Authorized Signature

National Park Service Office

# CONTINUATION SHEET

Not Named

Historic Preservation  
Certification Application

NPS Office Use Only

Property Name

35 Legare Street

Project Number:

Property Address

Salley B. Davidson ~~057-40-8890~~XX

Owner Name/Social Security or Taxpayer ID Number

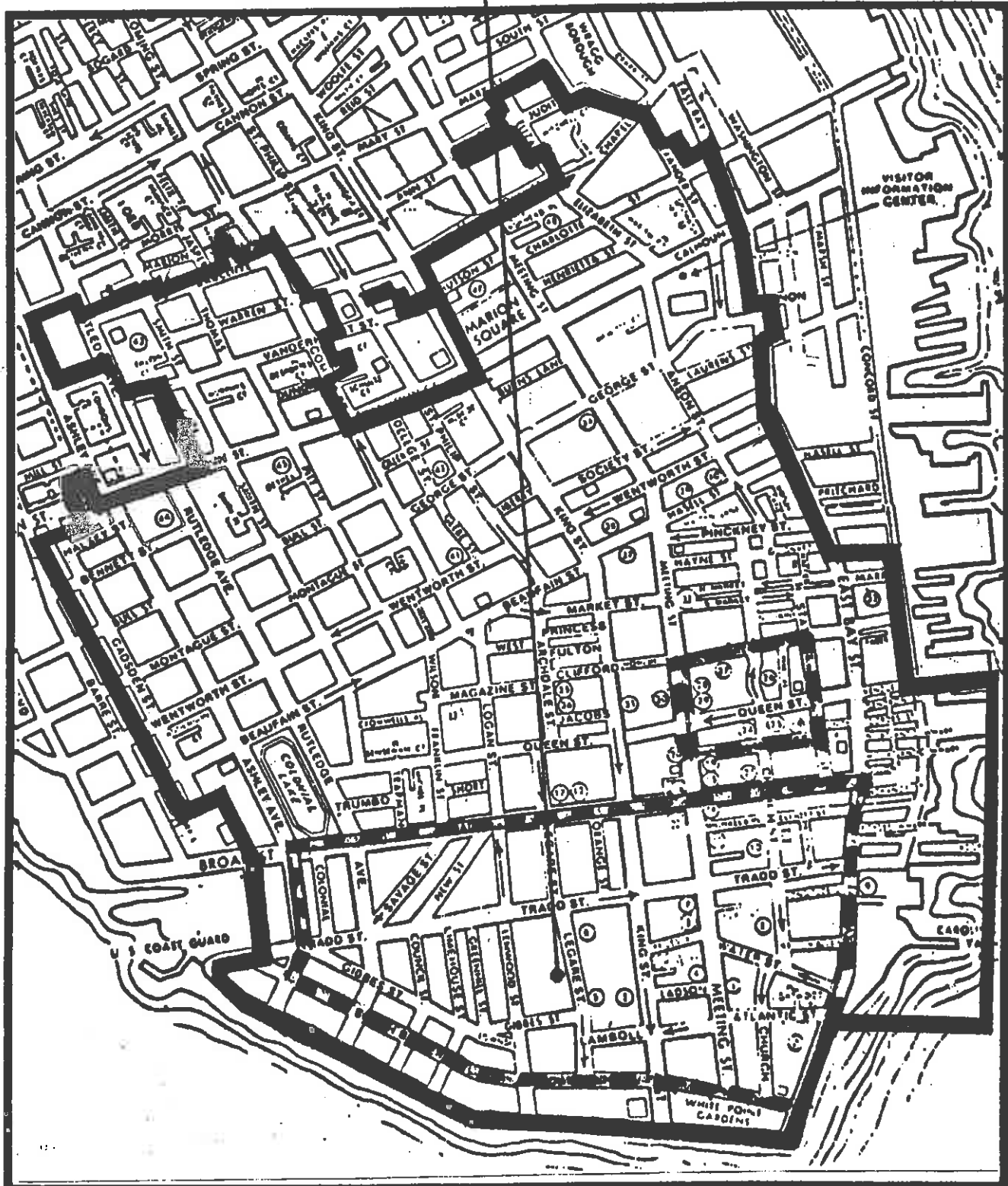
## 5. Description of Physical Appearance, Continued:

35 Legare Street appears to have been renovated ca. 1870. At that time, the mansard roof, dormers, and bay were added and several minor interior alterations were made. Other changes have included the enclosure of the rear section of the second floor piazza and the installation of bathroom and kitchen space during the early 20th century.

The interior of 35 Legare Street is based upon the traditional Charleston "single house" plan with a central hallway flanked on either side by large parlors. Window and door surrounds, mantelpieces, baseboards, and other detailing dates from several periods of 19th century design and reflect historically significant changes that have occurred to the building over time.

# 35 LEGARE STREET Charleston, South Carolina

## CHARLESTON OLD AND HISTORIC DISTRICT



Charleston Old and Historic District
  National Historic Landmark District  
 (As Extended, 1978)

Preservation Consultants, Inc.  
 Charleston, South Carolina

# **35 LEGARE STREET**

**Charleston, South Carolina**

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**#1**

## **East Facade, Facing Northwest**

Note: Metal mansard roof, projecting bay, historic 2/2 wood sash windows, weatherboard siding, 2-tier piazza at left



**#2**

## **Streetscape, Facing Southwest**

Note: Similarity of scale and materials between 35 Legare Street and surrounding structures

## **35 LEGARE STREET**

**Charleston, South Carolina**

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**#3**

**North elevation  
(right) and East  
Facade, Facing  
Southwest**

**Note:** Stuccoed chimneys  
with corbelled caps,  
historic 2/2 sash  
windows, dormers with  
segmental arched metal  
roofs



**#4**

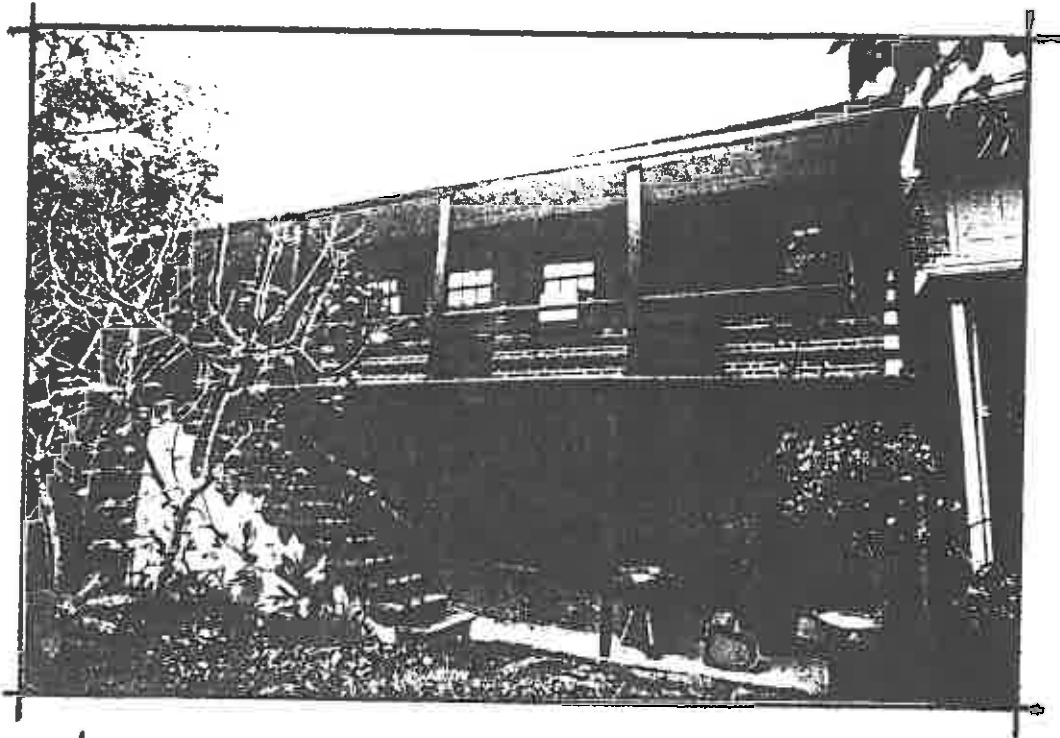
**South Elevation**

**Note:** Dormers, two-tier  
piazza, original 6/6 sash  
windows



**35 LEGARE STREET**  
Charleston, South Carolina

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**#5**

**Service Building,  
South Elevation**

Note: Historic 6/6 sash  
windows with shutters,  
exposed brick set in  
common bond



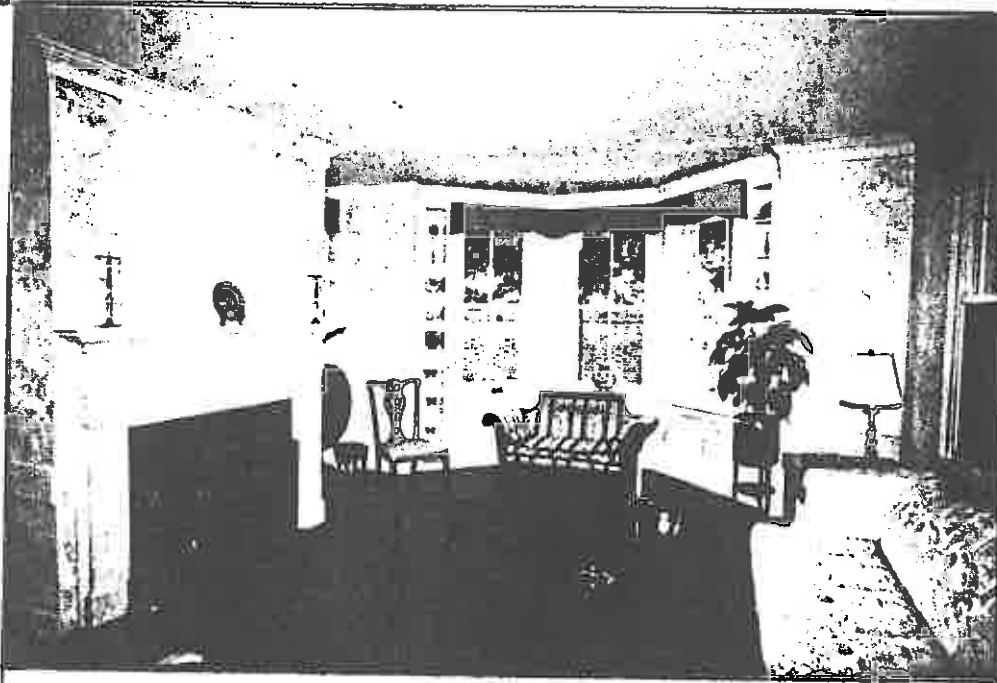
**#6**

**View at First Level of  
Piazza, Facing East**

Note: Original 6/6 sash  
windows with blinds,  
principal entrance at left

**35 LEGARE STREET**  
Charleston, South Carolina

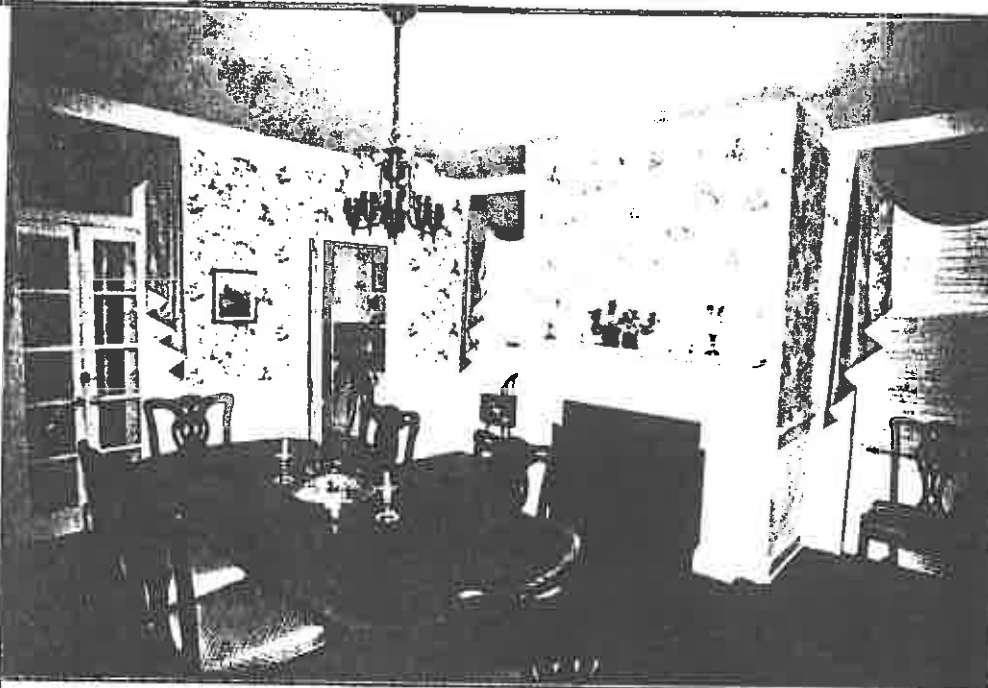
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**#7**

**Typical Interior  
View, Main House**

Note: Federal style  
mantelpiece, bay  
window, hardwood floors



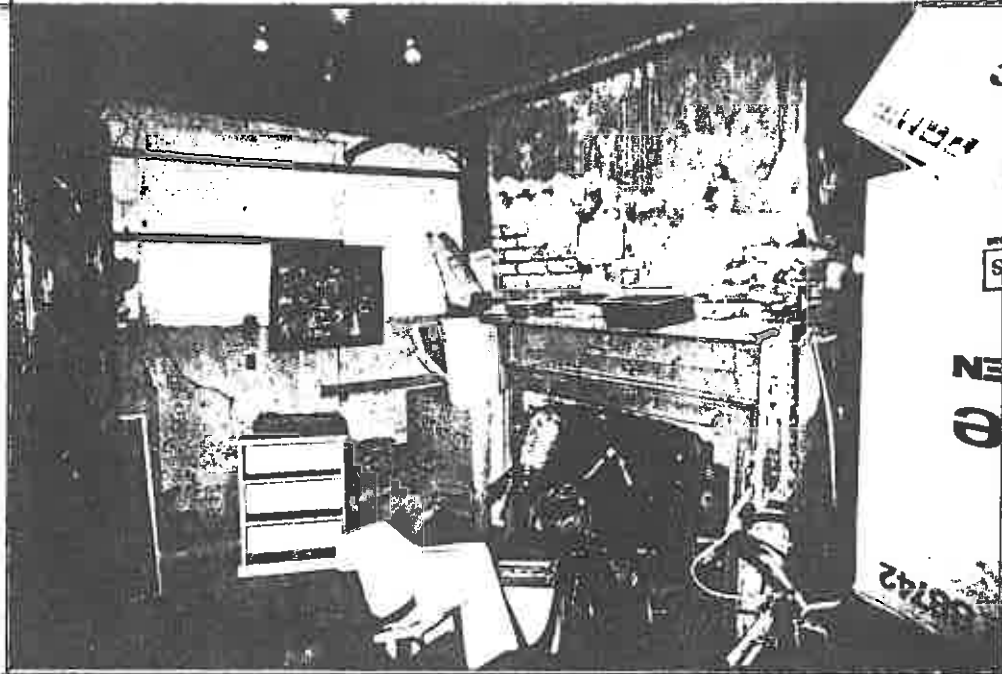
**#8**

**Typical Interior  
View, Main House**

Note: Historic  
mantelpiece

**35 LEGARE STREET**  
Charleston, South Carolina

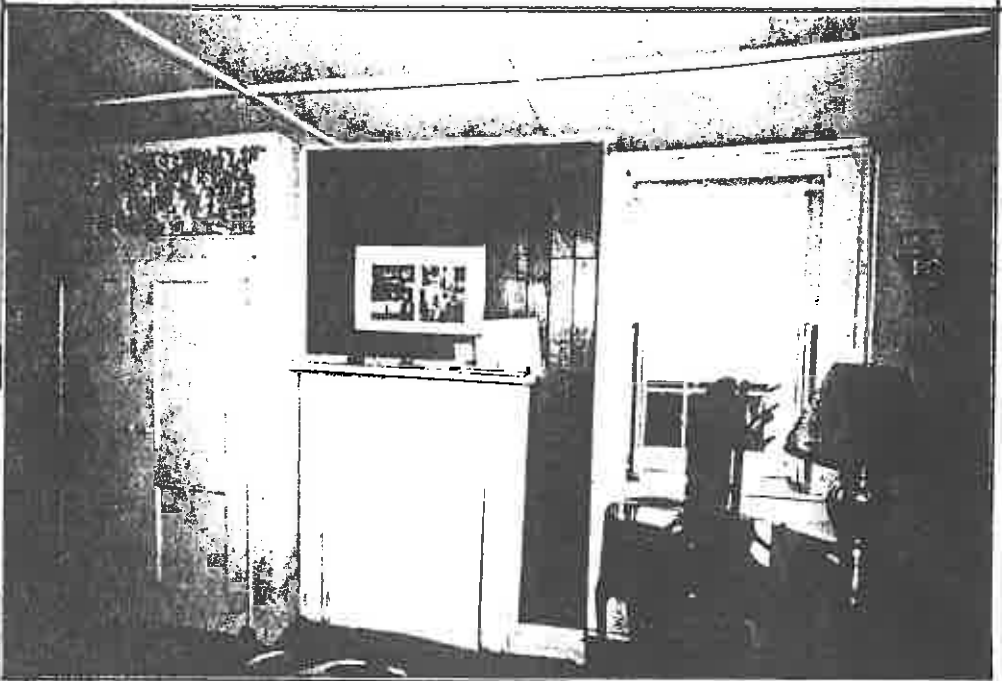
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#9

**Typical Interior  
View, Carriage House  
Building, First Floor  
Level**

Note: Original  
mantelpiece



#10

**Typical Interior  
View, Carriage House  
Building, Second Floor  
Level**