

Wilson Family Properties

Market, Anson, Guignard, and East Bay Streets

Charleston, S.C.

Preliminary Historical Research Report

by

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Preface

This is an interim report on historical documentation of three properties owned by the Wilson family on Market, Anson, Guignard and East Bay streets.

As requested by the client, this is a progress report representing the result of ten hours of research @ \$100.00 (\$1,000.00).

The research focused primary on 40-44-46 Market Street, corner of Rafer's Alley, the property known as the Rainbow Market, as that property contains a cluster of historic buildings.

A secondary focus was placed on the property at 235-239 East Bay Street, corner of Guignard Street, the property known as Mollie Darcy's, as that property is historically important as the site of the Pinckney Mansion.

The third property formerly contained buildings, but now consists of a parking lot, and therefore is of tertiary importance.

Further research could establish more information on the buildings at Market Street and Rafer's Alley, fill in gaps in the title of the property at East Bay and Guignard streets, and reveal more of the history of the lot on Anson Street.

The Properties

Rainbow Market, 40-44-46 Market Street (TMS 458-05-03-035)

This property is bounded south on North Market Street, east on Rafer's Alley, and north on Grignard Street. It contains a one and one-half story gable roofed brick structure at 44-46 Market Street and a gable roofed, two-story brick structure at 40 Market Street, with a gable roofed three story brick structure to the rear, on Rafer's Alley.

40 Market Street historically was part of a complex, on both sides of Rafer's Alley, which was the home of the C.H. Claussen Bakery.

44-46 Market Street historically was the site of the Sailors' Home of the Charleston Port Society.

Molly Darcy's, 235-239 East Bay Street (TMS 458-05-03-036)

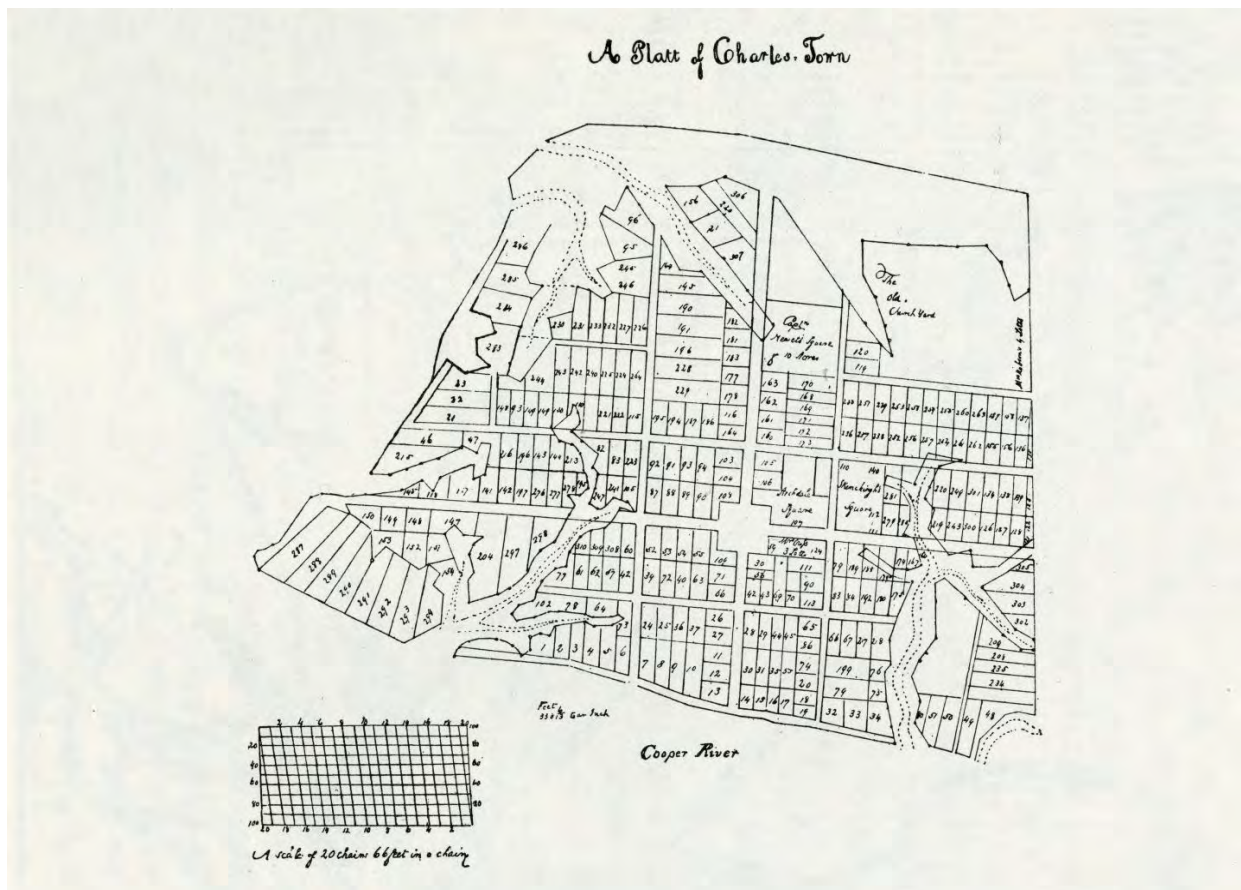
This property is bounded east on East Bay Street, and north on Guignard Street. It contains a one-story masonry building which houses a restaurant.

The property historically was the site of the Chief Justice Charles Pinckney House, a colonial mansion that was destroyed in the great fire of 1861.

2, 4, 6, 8, & 10 Anson Street (TMS 458-05-03- 131)

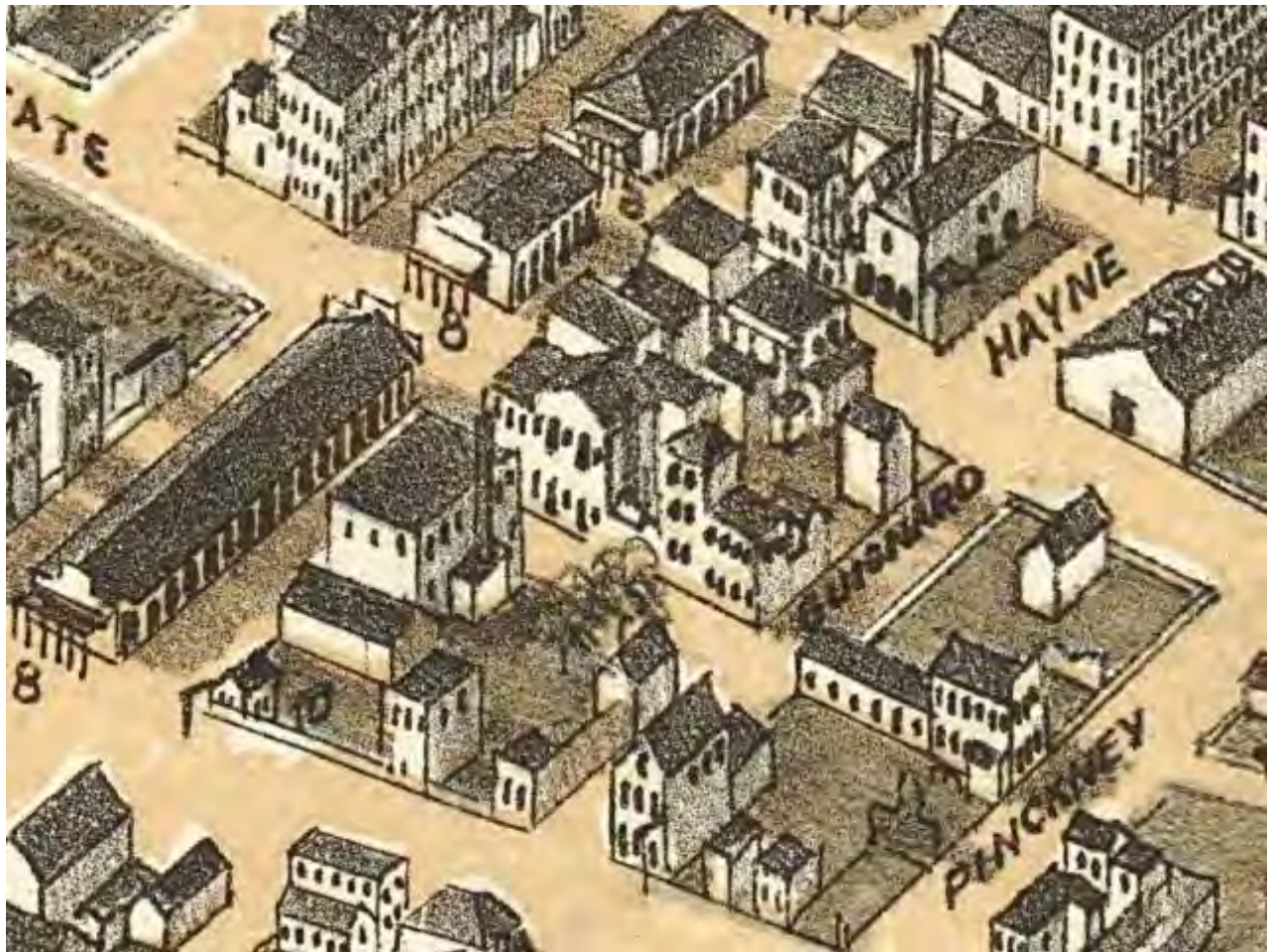
This property is situated on the east side of Anson Street, and borders the Rainbow Market property on the east. The property, also known as Lot B, consists of a vacant space used as a parking lot; the site formerly contained several buildings.

All three properties are situated in the area which was known as Colleton Square, named for Sir Peter Colleton who in 1681 was granted a tract of nine-plus acres, also known as Lot No. 80 of the Grand Modell of Charles-town. Colleton Square was sold by his grandson, the Hon. John Colleton, in 1736 to George Hunter, Charles Pinckney, and Thomas Ellery. By 1739 the area had been laid out with streets named Charles Street (now part of Anson Street); Pinckney Street; Thomas Street (now part of North Market Street); and Ellery Street (now Guignard Street). Ellery's Creek, to the south, was filled and the created land was donated by the Pinckney family to the City of Charleston, which built the City Market on the site.¹



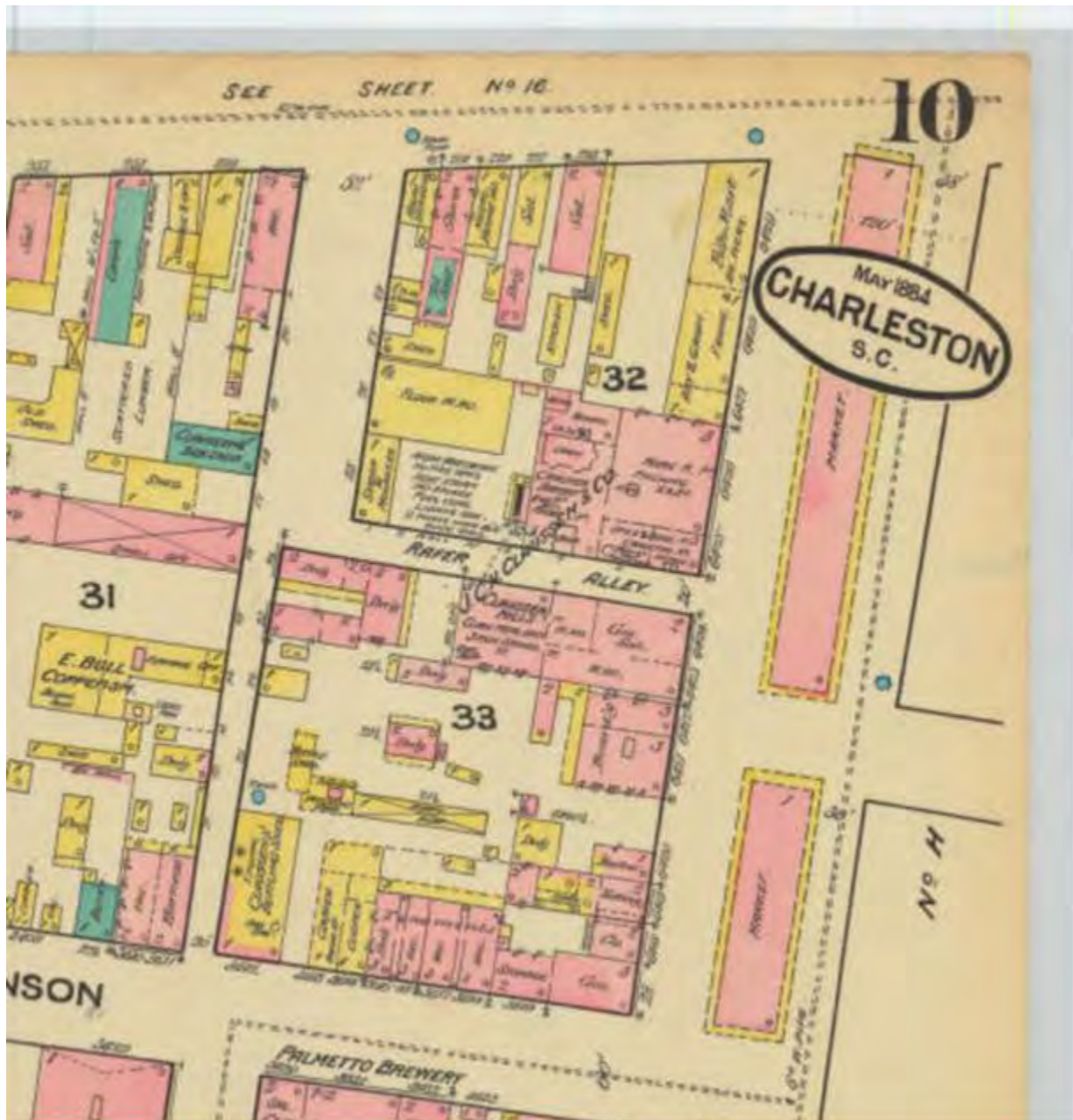
The “Grand Modell of Charles Town”

Colleton Square was situated just to the north of Ellery’s Creek, shown in the lower right corner of the map.



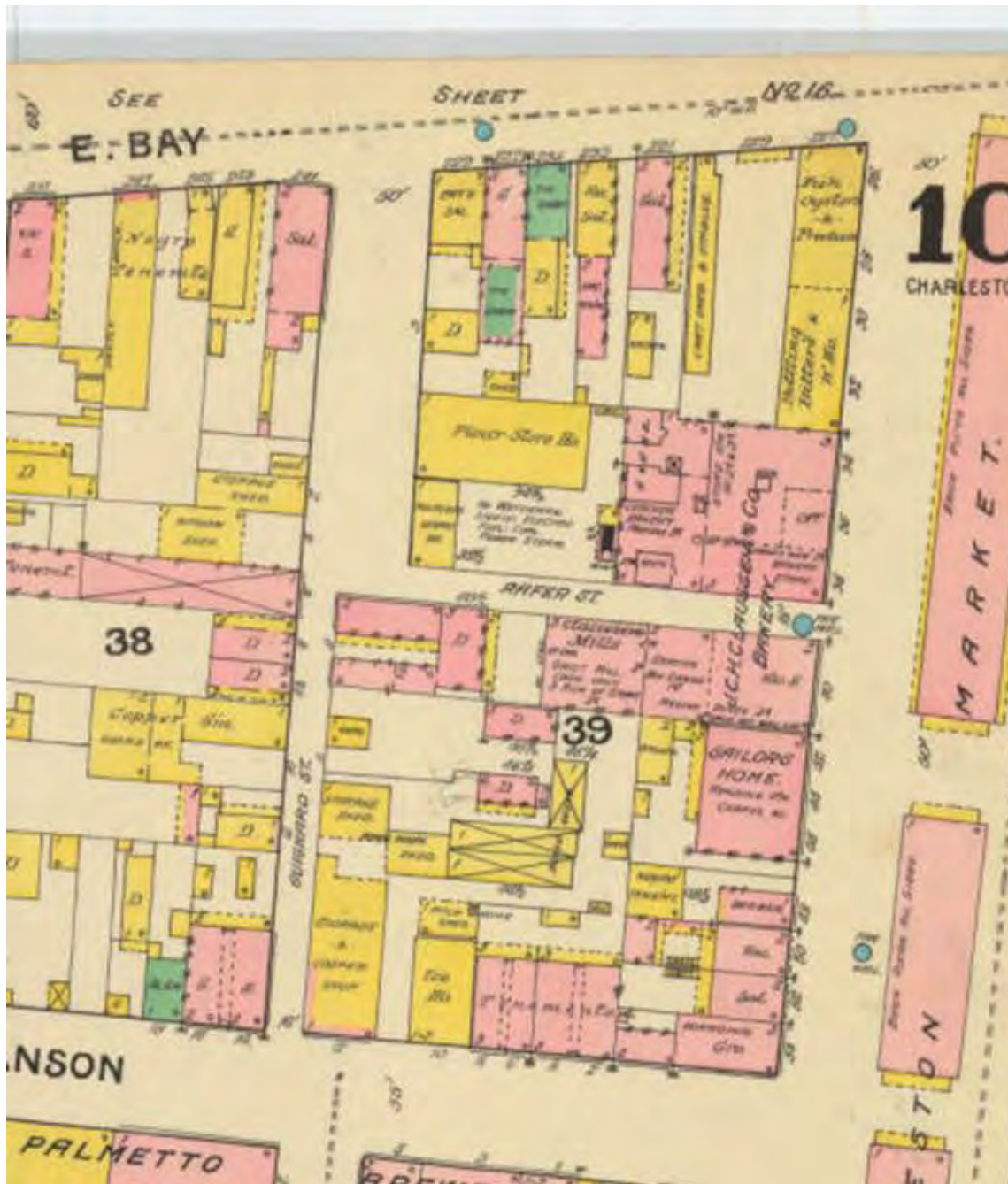
C. Drie's Bird's Eye View of Charleston, 1872

The Port Society's Sailors' Home on Market Street, the Claussen Bakery complex at Market Street and Rafer's Alley, the former site of the burned Pinckney Mansion at East Bay and Guignard streets, and buildings which stood on the Anson Street lot, are shown.



Sanborn Insurance Map, 1884

The Port Society's Sailors' Home on Market Street, the Claussen Bakery complex at Market Street and Rafer's Alley, buildings on the former site of the Pinckney Mansion at East Bay and Guignard streets, and buildings which stood on the Anson Street lot, are shown.



Sanborn Insurance Map, 1888

Ruins of the Port Society's Sailors' Home on Market Street, the Claussen Bakery complex at Market Street and Rafer's Alley, buildings on the former site of the Pinckney Mansion at East Bay and Guignard streets, and buildings which stood on the Anson Street lot, are shown.

44-46 Market Street

This was the site of the Charleston Port Society's building which housed a Seamen's Chapel and Reading Room, and a home for sailors

Charleston County Deeds, J10:839

The Charleston Port Society acquired two lots on the north side of Market Street from Jane Hamilton, for \$8,500, by a deed dated June 3, 1845.

The two lots were identified as being designated as Lots Nos. 5 and 6 in a plat by Charles Parker, surveyor, of lands belonging to the City of Charleston.

Lot No. 5 was described as measuring in front on Market Street, 24 feet, 10 inches; in depth, 81 feet; and in width on the back line, 24 feet. It was butting and bounding to the south on Market Street; east on Lot No. 6; north on land belonging to the children of Samuel B. Jones; and west on Lot No. 4 in the said plat.

Lot No. 6 was described as measuring in front on Market Street, 24 feet, 2 inches; in depth, 81 feet; and in width on the back line, 24 feet, 1 inch. It was butting and bounding to the south on Market Street; east on a lot known in the said plat as belonging to William Napier; north on land of the children of Samuel B. Jones; and west on the said Lot No. 5.

Charleston County Deeds, B12:2

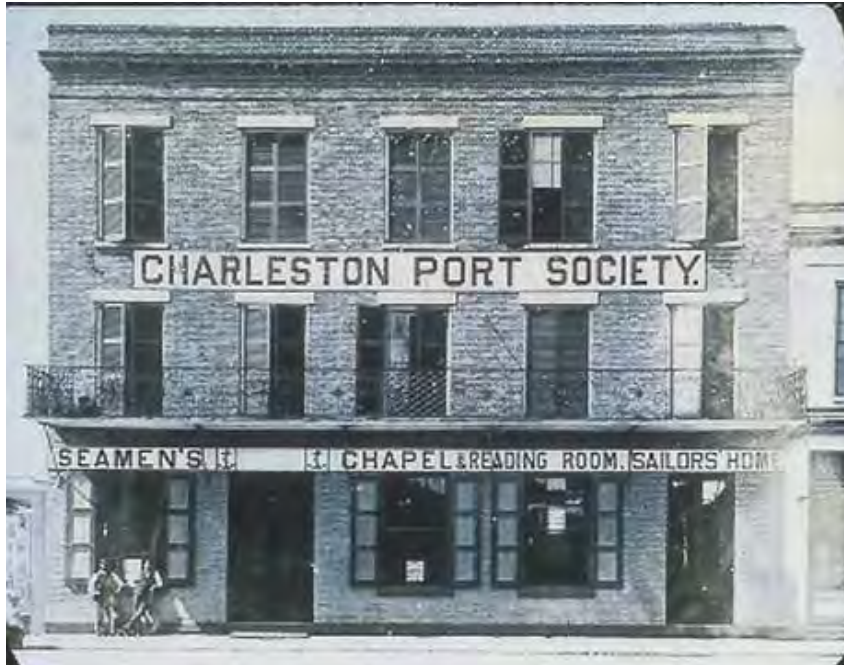
The Charleston Port Society acquired an adjacent lot from the City Council of Charleston, for \$1,450, by a deed dated March 1, 1847.

The lot was identified as Lot No. 4 in a plat by Charles Parker, surveyor, of lands belonging to the City of Charleston, recorded in the City Plat Book, page 5.

Lot No. 4 was described as measuring in front on Market Street, 24 feet, 2 inches; on the back line, 24 feet, 1 inch; and in depth, 81 feet. It was butting and bounding to the south on Market Street; north on land of _____ Jones; east on Lot No. 5 in the said plat; and west on Lot No. 3 in the said plat.

The deed was signed by T. Leger Hutchinson as Mayor of Charleston.

The Charleston Port Society for Promoting the Gospel among Seamen built on its site the Sailors' Home, which contained the Seamen's Chapel & Reading Room as well as rooms for sailors.



The handsome three story brick, Greek Revival style building was heavily damaged in the earthquake of 1886. The earthquake inspectors estimated the damage at \$5,800, and recommended that the building be demolished.²



Charleston County Deeds, F24:512

The Charleston Port Society for Promoting the Gospel among Seamen, a South Carolina corporation, sold its property on Market Street to Pietro Vignolo, for \$2,800, by a deed dated April, 1905.

The property was described as a lot of land on the north side of Market Street, known by the Nos. 44 and 46 Market Street.

The lot measured 72 feet, 6 inches in front on Market Street; 72 feet, 3 inches on the back line; and 81 feet in depth. It was butting and bounding to the south on Market Street; north on land formerly of Jones, now or late of _____; east on land of William Napier; and west on land formerly known as Lot No. 3 on a plat of Charles Parker, City Surveyor, now or late of _____.

The said lot being made up of three lots, two of which were conveyed by Jane Hamilton to the Port Society June 3, 1845 (J10:839) and the other by the City Council of Charleston, March 1, 1847 (B12:2).

The deed was signed by Waring P. Carrington, President of the Port Society, and attested by John W. Robson, Recording Secretary.

It probably was Vignolo who built the present building at 44-46 Market after his purchase of the property in 1905. Its construction and rather plain architectural presence would be compatible with the time and the use to which Vignolo put the building, as a wholesale produce establishment.

Charleston County Deeds, D26:331

Assunta Vignolo conveyed the property at 44-46 Market Street to the Atlantic Investment Company, for \$3,000, on August 25, 1911.

The property was described as a lot of land on the north side of Market Street, known by the Nos. 44 and 46 Market Street.

The lot measured 72 feet, 6 inches in front on Market Street; 72 feet, 3 inches on the back line; and 81 feet in depth. It was butting and bounding to the south on Market Street; north on land formerly of Jones, now or late of _____; east on land formerly of William Napier, now or late of Jacob D. S. Claussen; and west on land formerly known as Lot No. 3 on a plat of Charles Parker, City Surveyor, now or late of H. O. Hasselmeyer.

The said lot was conveyed to Pietro Vignolo by The Charleston Port Society, by deed dated April, 1905 (F24:512), and devised to Assunta Vignolo by the said Pietro Vignolo by his will dated August 9, 19__ (Will Book X, p. 11).

Charleston County Deeds, Y24:340

The Atlantic Investment Company, a South Carolina corporation, conveyed the property at 44-46 Market Street to Assunta Vignola, for \$3,000, by a deed dated September 2, 1911.

The property was described in the same terms as the previous deed (D26:331).

The said lot was conveyed to Pietro Vignolo by the Charleston Port Society by deed dated April, 1905 (F24:512).

The deed was signed by Clarence B. Schachte, President of the Atlantic Investment Company.

Charleston County Deeds, G26:20

Assunta Vignolo conveyed the property at 44-46 Market Street to E. Perano [sic], for \$6,000, by a deed dated November 16, 1911.

The property was described in the same terms as the previous deeds.

The said lot was conveyed to Pietro Vignolo by the Charleston Port Society by deed dated April, 1905 (F24:512).

[The purchaser was Emanuele Peirano.]

Charleston County Deeds, E28:109

Emanuele Peirano conveyed the property at 44-46 Market Street to Eva M. Goldsmith and Lillian M. Goldsmith, for \$6,000, by a deed dated May 8, 1916.

The property was described in the same terms as the 1911 deeds.

The said lot was conveyed to Emanuele Peirano by Assunta Vignolo by deed dated November 16, 1911 (G26:20).

Catarina Peirano, wife of the grantor, signed a relinquishment of dower on May 8, 1916.

Charleston County Deeds, T28:341

Eva M. Goldsmith and Lillian M. Goldsmith conveyed the property at 44-46 Market Street to the Bay Fruit Company, for \$5.00 and "other valuable consideration," by a deed dated April 29, 1919.

The property was described in the same terms as the 1911 deeds.

The said lot was conveyed to the grantors by Emanuele Perano [sic] by deed dated May 8, 1916 (E28:109).

40 Market Street

This site has been occupied by a series of buildings.

The 1861 Census lists at the address, then known as 14 Market Street, a wooden building owned and occupied by J. Campsen & Company.³

Campsen's wooden building probably was destroyed in the great fire of December 12-13, which swept through the area.

When and by whom the present building at 40 Market Street was constructed has not yet been documented.

The Sanborn Map of 1884 (see above) depicts a two story brick building on the site, occupied by Claussen's Bakery.

The site was acquired in 1879 by John C. H. Claussen & Company as a lot "with the buildings thereon." John C. H. Claussen and A.F.C. Cramer were partners in John C. H. Claussen & Company.

Charleston County Deeds, U17:140

The South Carolina Loan and Trust Company to John C. H. Claussen, conveyance, for \$7,000, by a deed dated July 5, 1879.

The property was described as a lot "with the buildings thereon," situate at the northwest corner of Market Street and Rafer's Alley. The lot measured 43 feet, 6 inches in front on Market Street; 42 feet, 9 inches on the back line; 130 feet on Rafer's Alley; and 130 feet on the west line. It was butting and bounding to the south on Market Street; east on Rafer's Alley; north on land of J.C.H. Claussen; and west on land occupied by buildings known as the "Sailors' Home" and on land belonging to Miss Susan Jones.

The conveyance also included all mill machinery in the building.

The deed was signed by E. H. Frost, President of the South Carolina Loan and Trust Company.

Charleston County Deeds, D18:603

A.F.C. Cramer, merchant, to J.C.H. Claussen, merchant, conveyance, for \$5,000, by deed dated February 16, 1882.

This deed recites that the property had been purchased on July 5, 1879, from the South Carolina Loan and Trust Company with the co-partnership funds of J.C.H. Claussen & Company, composed of J.C.H. Claussen and A.F.C. Cramer, but for convenience sake the title to the same was taken in the individual name of J.C.H. Claussen. A.F.C. Cramer had retired from the said firm, and now transferred his interest in the property to J.C.H. Claussen.

The property conveyed was described in the same terms as in the previous deed (U17:140).

The conveyance also included all mill machinery in the building.

Mrs. D. Cramer, wife of A.F.C. Cramer, signed a relinquishment of dower on February 16, 1882.

The property at 40 Market Street was added to a complex of lots and buildings owned by John C. H. Claussen and occupied as a bakery establishment.

The Claussen family had begun acquiring property in the vicinity in 1855.

Charleston County Deeds, J13:453

City Council of Charleston to Frederick W. Claussen and John C. H. Claussen, co-partners as Claussen Brothers, conveyance, by a deed dated June 27, 1855.

This conveyance was for the lot of land at the NORTHEAST corner of Market Street and Rafer's Street [sic], numbered 7 in a plat by Charles Parker, City Surveyor, surveyed in 1841 and recorded in the City Plat Book, p. 5. The lot measured in front on Market Street, 26 feet, 6 inches, and on the north line 26 feet, 5 inches, in depth on Rafer's Street, 81 feet; and on the east line 81 feet. It was butting and bounding to the south on Market Street; west on Rafer's Street; north on lands now or late of the Misses Pinckney; and east on Lot No. 8 in the said plat.

Charleston County Deeds, R13:279

Frederick W. Claussen to John C. H. Claussen, conveyance, by deed dated July 30, 1856.

Frederick W. Claussen conveyed his interest in the lot of land at the NORTHEAST corner of Market Street and Rafer's Alley.

John C. H. Claussen added to the Claussen holdings by purchasing in 1855 an adjacent lot at the southwest corner of Guignard Street and Rafer's Alley.

Charleston County Deeds, V12:357

James Tupper, Master in Equity, to John C. H. Claussen, conveyance, for \$7,000, by a deed dated August 4, 1855.

The deed recites that Mary Uranie Aimar and others, on June 12, 1855, exhibited their bill of complaint in the Charleston District Court of Equity, *versus* Margaret Caroline St. Amand and others, requesting a division of the Estate of John P. St. Amand. The case was heard in the June sitting of 1855, at which time the Court decreed that property belonging to the estate be sold by the Master in Equity. The Master offered the property at public auction on July 17, 1855, at which time John C. H. Claussen submitted a high bid of \$7,000 to purchase the property. The property was conveyed to Claussen via the deed dated August 4, 1855.

The conveyed property was described as a lot with the buildings thereon, on the southwest corner of Guignard Street and Rafer's Alley. The lot measured on Guignard Street, 42 feet, 9 inches; and on Rafer's Alley, 150 feet, 9 inches. It was butting and bounding to the north on Guignard Street; east on Rafer's Alley; south on land now or late of A. Robbins and Campsen & Ellenbush; and west on land now or late of Jones.

The lot at Guignard Street and Rafer's Alley was combined with the lot at Market Street and Rafer's Alley, after Claussen's purchase of that property in 1879. At some point in time, as indicated on the Sanborn map of 1884 (see above), where it is identified as "Claussen's Mills," Claussen constructed the three story brick mill building on Rafer's Alley, to the north of the

Market Street building. The construction and industrial style of this building would indicate that it was built in the late nineteenth century, but before the 1886 earthquake, as indicated by earthquake bolts on the exterior. There is also physical evidence (in the masonry of the east elevation) that the Market Street building and the mill building were joined together at some point in time. This also is indicated by the Sanborn map of 1884.

The building complex at 40 Market Street was treated as one building by the earthquake inspectors in their report, in which it was described as measuring 40 feet wide by 100 feet deep. The report indicated that the top of the south wall (the Market Street façade) was down. This is also confirmed by the building's appearance in the "before and after" photographs of the Charleston Port Society building (above). The Market Street facade was two stories of masonry in Greek Revival style; the "after" photograph shows that the second level of the façade had collapsed, exposing the gable end of the roof. The earthquake inspectors' report also indicated that the east wall of the building was "badly cracked and sprung," the west wall was "badly cracked" and the chimneys down. The damage was estimated at \$3,500. The inspectors' noted that the building "will be built entire," though that appears to have been inaccurate.⁴

The property at 40 Market Street and Rafer's Alley was devised by John C. H. Claussen to Jacob D.S. Claussen, and by Jacob D.S. Claussen to Avonia J.L. Claussen, who sold it as one lot in 1914.

Charleston County Deeds, Y26:255

Avonia J.L. Claussen to Thomas W. Carroll, conveyance, for \$10.00 "and other valuable consideration," by a deed dated May 14, 1914.

The property conveyed was described as a lot of land "with the buildings and improvements thereon," situate at the northwest corner of Market Street and Rafer's Alley. The lot measured 43 feet, 6 inches, in front on Market Street; on the back line on Guignard Street, 42 feet, 9 inches. It was butting and bounding to the south on Market Street; north on Guignard Street; east on Rafer's Alley; and west on land and buildings formerly known as the "Sailors' Home," and on land now or formerly belonging to Miss Susan Jones.

The deed recites that the property formerly was composed of two lots of land, one conveyed to J.C.H. Claussen by James Tupper, Master in Equity, by deed dated July 17, 1855 (V12:357), the other conveyed by the South Carolina Loan and Trust Company to John C. H. Claussen, by a deed dated July 5, 1879 (U17:140). The property was devised by John C. H. Claussen to Jacob D.S. Claussen, and by Jacob D.S. Claussen to the said Avonia J.L. Claussen.

Charleston County Deeds, N28:283

Thomas W. Carroll to Bay Fruit Company, a South Carolina corporation, conveyance, for \$5.00 "and other valuable consideration," by deed dated July 21, 1917.

The property was described in the same terms as the previous deed (Y26:255).

The deed also recites that the property formerly was composed of two lots of land, one conveyed to J.C.H. Claussen by James Tupper, Master in Equity, by deed dated July 17, 1855 (V12:357), the other conveyed by the South Carolina Loan and Trust Company to John C. H. Claussen, by a deed dated July 5, 1879 (U17:140). The property was devised by John C. H. Claussen to Jacob D.S. Claussen, and by Jacob D.S. Claussen to the said Avonia J.L. Claussen.

Lottie P. Carroll, wife of the grantor, signed a relinquishment of dower on July 21, 1917.

The Bay Fruit Company also purchased an adjacent lot, on the south side of Guignard Street, in 1950.

Charleston County Deeds, U52:105

Sottile Realty Company to Bay Fruit Company, conveyance, for \$7,500, by deed dated September 29, 1950.

The property conveyed was described as a lot of land, with the buildings and improvements thereon, situate on the south side of Guignard Street, known as 11 and 13 Guignard, and shown on a plat by Joseph Needle, C.E., dated October 4, 1943 (Plat Book F, p. 169, RMC Office).

The lot measured on the north line 69.2 feet; on the south line 67.6 feet; on the east line, 150.5 feet; and on the west line 150.1 feet. It was butting and bounding to the north on Guignard Street; south on property of Bay Fruit Company; east on property of Bay Fruit Company; and west on property of the Southern Ice Company.

Being the same premises conveyed to the Sottile Realty Company by Mary Frances Conlon, by deed dated October 7, 1943, and recorded October 8, 1943 (G41:317).

40-44-46 Market Street

The Bay Fruit Company properties were acquired by Mary B. Wilson in 1974.

Charleston County Deeds, H104:261

The Bay Fruit Company, a South Carolina corporation, to Mary B. Wilson, conveyance, for \$82,000, by deed dated March 18, 1974.

This deed conveys the lot of land with the buildings and improvements thereon, situate on the north side of Market Street, numbered 40, 44 and 46 Market Street.

The property was described as butting and bounding south by Market Street, 116 feet; east by Rafer's Alley, 232 feet; north 112 feet by Guignard Street; and west 231 feet by property of Hasselmeyer and Southern Ice Company.

Being the same premises composed of three parcels acquired by Bay Fruit Company as follows:

Deed dated July 21, 1917, from Thomas W. Carroll (N28:283)

Deed dated April 29, 1919, from Eva M. & Lillian M. Goldsmith (T28:341)

Deed dated September 29, 1950, from The Sottile Realty Company (U52:105)

The deed was signed by Paul G. Hass, President of the Bay Fruit Company, and Lois Hass, Secretary.

2-10 Anson Street

This property, now a parking lot, formerly contained several buildings which are depicted on the Sanborn insurance maps (above). The site was acquired by Mary B. Wilson in 1986.

Charleston County Deeds, M159:135

Ravenel, Eiserhardt Associates to Mary B. Wilson, conveyance, by deed dated October 17, 1986.

40-44-46 Market Street and 2-12 Anson Street

Charleston County Deeds, 0026:59

Mary B. Wilson to Baked Custard, LLC, conveyance, for \$10.00, by deed dated December 22, 2006.

This deed conveyed the properties at 40-44-46 Market Street and at 2-12 Anson Street.

The first was described as the lot of land with the buildings and improvements thereon, situate on the north side of Market Street, numbered 40, 44 and 46 Market Street.

The property was described as butting and bounding south by Market Street, 116 feet; east by Rafer's Alley, 232 feet; north 112 feet by Guignard Street; and west 231 feet by property now or formerly of Hasselmeyer and Southern Ice Company.

Being the same property conveyed to Mary B. Wilson by deed of the Bay Fruit Company, a South Carolina corporation, dated March 18, 1974 and recorded May 6, 1974 (H104:261).

The second property conveyed was described as a tract of land designated as "Lot B" (2-10 Anson Street) on a plat entitled, "Plat of the Subdivision of 2-12 Anson Street," made by George A.Z. Johnson, Jr., dated September 29, 1986 (Plat Book BK, p. 115, RMC Office).

The said tract having such size, shape, dimensions, buttings and boundings as will by reference to the said plat more fully appear.

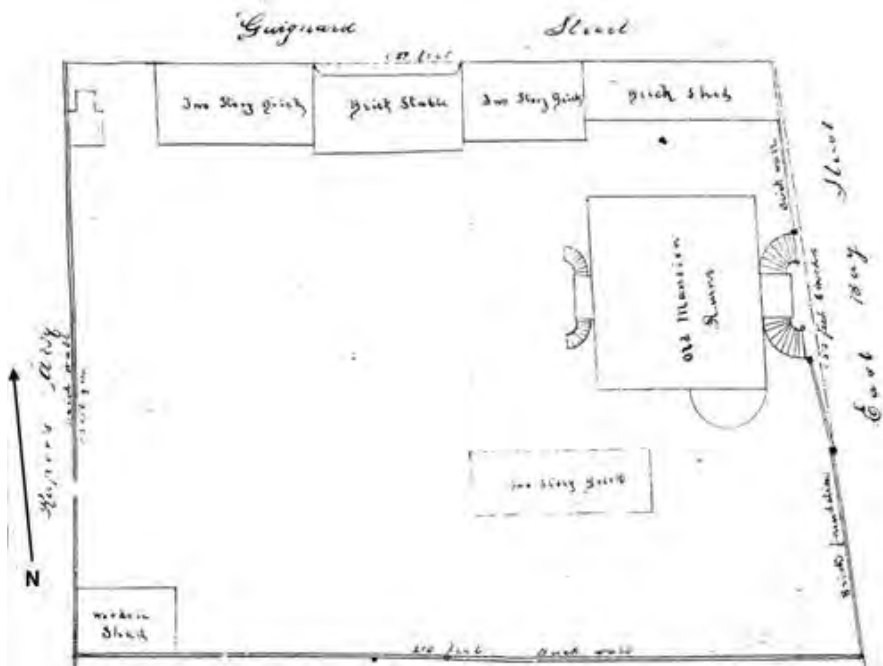
The same having been conveyed to Mary B. Wilson by deed of Ravenel, Eiserhardt Associates, a South Carolina limited partnership, dated October 17, 1986 (M159:135).

233-239 East Bay Street

This site contained the ruins of a Georgian mansion built by Chief Justice Charles Pinckney, which at some time was leased to the Royal Governor. The property remained in the Pinckney family until 1871.



Ruins of Pinckney Mansion, destroyed in the great fire of 1861



Plat of the Pinckney Mansion property, showing ruins, ca. 1870.

Charleston County Deeds, H16:29

Heirs of Charles Cotesworth Pinckney to John C.H. Claussen, conveyance, for \$1,687, by deed dated March 16, 1871.

This deed recites that Mrs. Eliza Lucas Izard and Miss Harriett Pinckney, both late of Charleston, deceased, were during their lifetimes seized and possessed of the real estate herein conveyed.

The said Eliza Lucas Izard, by her last will and testament, devised unto her cousin Charles Cotesworth Pinckney, all her interest in the lot of land on which the Pinckney Mansion House stood, which is the premises hereinafter conveyed.

Afterwards, in April 1851, the said Eliza Lucas Izard died.

Afterwards, on June 9, 1863, the said Charles Cotesworth Pinckney died, having executed his last will and testament, the provisions of which were confirmed by the Court of Common Pleas.

Now his heirs, Charles Cotesworth Pinckney (the younger), Caroline P. Seabrook, Thomas Pinckney, and Mary E. Pinckney convey the said property to John C.H. Claussen.

The property conveyed consisted of three lots of land.

The first lot was described as a lot of land situate on the west side of East Bay Street, measuring in front on the said street 72 feet, 6 inches, and in depth 107 feet, 10 inches. The lot was butting and bounding to eastward on East Bay Street; north on the proposed line of Hayne Street Extended [Guignard Street]; south on land of Thompson; and west on the lot hereinafter conveyed. The said lot being marked "A" in a plat by William Hume, Surveyor, dated December 24, 1870.

Also that lot, westward of the above lot, measuring on the said proposed line of Hayne Street Extended [Guignard Street], 78 feet, 4 inches; and in depth 106 feet, 9 inches. Butting and bounding north on Hayne Street Extended [Guignard Street]; east on land of the said Claussen, Thompson, Bull and Servite [Cervetti]; south on land of Claussen; and west on land of Claussen. Being the lot marked "F" in the plat aforesaid.

Also that lot, situate west of the last lot, described as having the same dimensions, bounding north on Hayne Street Extended [Guignard Street]; east on land of Claussen; south on land of Claussen; and west on a six feet alley. Being the lot marked "H" in the plat aforesaid.

Mary E. Pinckney, wife of Thomas Pinckney, signed a relinquishment of dower on April 8, 1871.

Susan H. Pinckney, wife of C.C. Pinckney, signed a relinquishment of dower on April 8, 1871.

The former Pinckney property was subdivided into several lots, on which various buildings were constructed, including a gas station that stood at the corner of East Bay and Guignard streets. The lots were acquired in 1972 by Street Brothers, a shipping company, who built the present building on the site. The former office building has been remodeled for use as a restaurant and bar.

Charleston County Deeds, S142:322

Street Brothers, Inc., to Timothy S. Street, conveyance, for \$10.00, by deed dated January 10, 1985.

This deed recites that the Board of Directors and shareholders of Street Brothers, Inc., at a meeting on January 2, 1985, authorized the conveyance of the said property as a distribution in liquidation of the firm.

The property conveyed consisted of several lots, described as follows:

All that lot with the buildings and improvements thereon, situate on the west side of East Bay Street, formerly known as No. 233 East Bay Street. The lot measuring in front on the said street 27 feet, and in depth, 111 feet. It was butting and bounding to the north on lands now or formerly of Bernard O'Neill; east on East Bay Street; south on lands now or formerly of Kearney; west on lands now or formerly of J.C. H. Claussen. Being the lot marked "D" on a plat by William Hume, Surveyor, dated December 27, 1870.

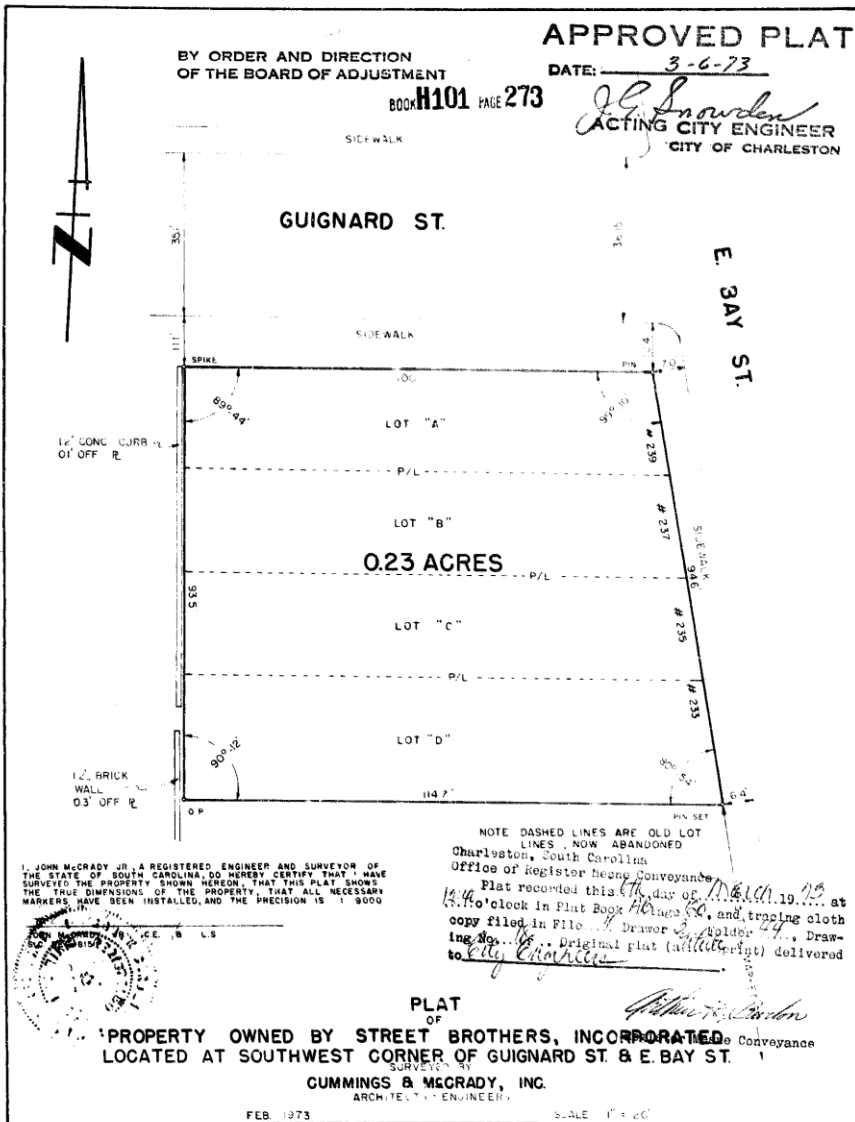
Also all that lot with the buildings and improvements thereon, situate on the west side of East Bay Street, formerly known as No. 235 East Bay Street, measuring on the front line of East Bay Street, 22 feet, 6 inches, and in depth on the north line, 107 feet; on the south line 110 feet, 11 inches; on the west line 27 feet. Butting and bounding to the north on lands now or formerly of Thompson; east on East Bay street; west on lands now or formerly of Claussen; and south on lands now or formerly of Cervetti.

Also, all that lot with the buildings and improvements thereon, including all filling and service station equipment, situate on the southwest corner of East Bay and Guignard Street, formerly known as the Nos. 237 and 239 East Bay Street, and more particularly shown on a plat of lands of L.P.T. Company, made by W. L. Gaillard, Surveyor, dated June 9, 1955 (Plat Book E, p. 149, RMC Office). The said lot measuring and butting and bounding to the north on Guignard Street, 100 feet; south on lands now or formerly of Howe and Carroll, 109.2 feet; west on lands of L.P.T. Company, 45 feet; and labeled on said plat as "Tin Warehouse."

The above being the same properties conveyed to the Grantor by deed of the International Longshoreman's Association Local 1422, AFL-CIO, dated April 3, 1972 (X98:80).

The conveyance also included the properties at 241 and 243 East Bay, to the north of Guignard Street.

The deed was signed by Timothy S. Street, as President of Street Brothers, Inc.



Plat of Street Brothers, Inc., property by Cummings & McCrady, 1973

Charleston County Deeds, R172:832

Timothy S. Street to G&B Associates, a South Carolina general partnership, conveyance, for \$460,000, by deed dated February 23, 1988.

The property conveyed was described a lot with the buildings and improvements thereon, situate at the southwest corner of Guignard Street and East Bay Street, containing 0.23 acres and known in the present numbering system as 235 East Bay, formerly known as 233, 235, 237 and 239 East Bay Street, as shown on a plat entitled "Plat of Property Owned by Street Brothers, Inc.," prepared by Cummings and McCrady, Inc., architects-engineers, dated February 1973 (Plat Book AB, p. 120).

Being a portion of the premises conveyed to the Grantor by deed of Street Brothers, Inc., dated January 10, 1985 (S142:322).

Charleston County Deeds, X188:598

G&B Associates, a South Carolina general partnership, to Mary S. Wilson, conveyance, for \$650,000, by deed dated November 21, 1989.

The property conveyed was described a lot with the buildings and improvements thereon, situate at the southwest corner of Guignard Street and East Bay Street, containing 0.23 acres and known in the present numbering system as 235 East Bay, formerly known as 233, 235, 237 and 239 East Bay Street, as shown on a plat entitled "Plat of Property Owned by Street Brothers, Inc.," prepared by Cummings and McCrady, Inc., architects-engineers, dated February 1973 (Plat Book AB, p. 120).

Being the same property conveyed to G&B. Associates by deed of Timothy S. Street, dated February 23, 1988 (R172:832).

The deed was signed by Joseph P. Griffith, Jr., and others as partners in G&B Associates.

Charleston County Probate Court

Wills and Estates, 2004-ES10-1631

Estate of Mary B. Wilson, died September 30, 2004

Devised the property at 233-239 East Bay Street to her daughter, Mary B. Wilson.

Charleston County Deeds, Y551:398

Mary B. Wilson, Estate, to Mary B. Wilson, deed of distribution dated August 31, 2005.

The property conveyed was described a lot with the buildings and improvements thereon, situate at the southwest corner of Guignard Street and East Bay Street, containing 0.23 acres and known in the present numbering system as 235 East Bay, formerly known as 233, 235, 237 and 239 East Bay Street, as shown on a plat entitled "Plat of Property Owned by Street Brothers, Inc.," prepared by Cummings and McCrady, Inc., architects-engineers, dated February 1973 (Plat Book AB, p. 120).

Charleston County Deeds, 0020:573

Mary B. Wilson to Papillon Luvr, LLC, a South Carolina limited liability company, conveyance, for \$10.00, by deed dated November 12, 2008.

The property conveyed was described a lot with the buildings and improvements thereon, situate at the southwest corner of Guignard Street and East Bay Street, containing 0.23 acres and known in the present numbering system as 235 East Bay, formerly known as 233, 235, 237 and 239 East Bay Street, as shown on a plat entitled "Plat of Property Owned by Street Brothers, Inc.," prepared by Cummings and McCrady, Inc., architects-engineers, dated February 1973 (Plat Book AB, p. 120).

Being the same property devised to Mary B. Wilson by the will of Mary S. Wilson (Charleston County Probate, Wills and Estates, 2004-ES10-1631) and by deed of distribution dated August 31, 2005 (Y551:398).

Endnotes

¹Daniel E. Huger Smith and Alice R. Huger Smith, *The Dwelling Houses of Charleston* (Philadelphia: J.B. Lippincott Company, 1917) pp. 269-270.

²W. H. Parkins, Architect, and Fred. S. Stewart, Builder, Inspectors, *Record of Earthquake Damages* (Atlanta: Winham & Lester Publishers, 1886) p. 51.

³Frederick A. Ford, *Census of the City of Charleston, For the Year 1861* (Charleston: Evans & Cogswell for The City Council of Charleston) p. 138.

⁴Parkins and. Stewart, *Record of Earthquake Damages*, p. 51.