

# ST. JOHN'S REFORMED EPISCOPAL CHURCH EDUCATIONAL BUILDING

History, Conditions, and Treatments Report

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91 Anson Street  
Charleston, SC

Clemson University Master of Science in Historic Preservation

Preservation Studio - HP 8050  
Spring 2026

Class of 2027

Croix Brown, Savannah Cody, Ashley Dever, Jayne M. Flynn,  
Emily Anne Harris, Jacob Mossbrook, and Madison Pinion

Cover photograph by Madison Pinion.

## Acknowledgements

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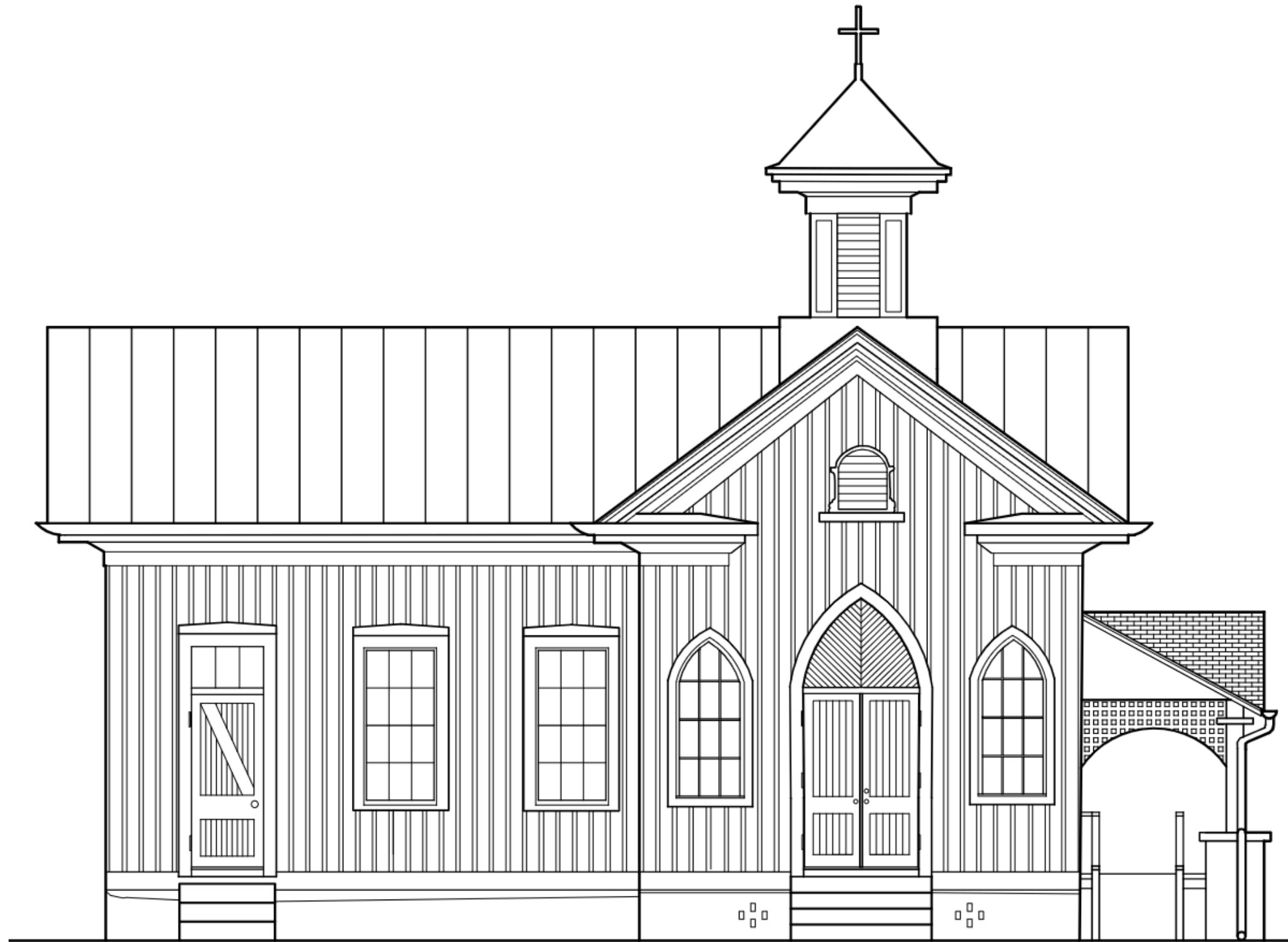
Photograph by Madison Pinion, 2026

On behalf of the Clemson University Master of Science in Historic Preservation Class of 2027, we would like to extend our sincere thanks to the congregation of St. John's Reformed Episcopal Church for the privilege of working on this project. We are especially appreciative of Patrice Capers, who generously sacrificed much of her time to ensure that we had access to the site during our class hours. We would also like to thank our teaching assistants – Jackson Dent, Alex Ullman, and Thompson Teasedale – for their guidance and encouragement, as well as Clemson student Hamzah Jule for sharing his skills in 3D laser scanning. Craig Bennett of Bennett Preservation shared his expertise with us and was also instrumental in this project. We are so thankful to have had the opportunity to continue Clemson's partnership with the Historic Charleston Foundation's Saving Grace initiative and St. John's Reformed Episcopal Church. St. John's boasts a rich architectural and cultural history that reflects the stories of a diverse group of Charlestonians, and we earnestly hope this report can contribute to its long-term preservation.

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AutoCAD East Elevation Drawing  
By Jacob Mossbrook

# Introduction

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This report was completed as part of the Preservation Studio Course (HP 8050\_S26) in the Spring semester of 2026 for Clemson University’s Master of Science in Historic Preservation Graduate Degree Program. Research and site documentation were completed with guidance from the Historic Charleston Foundation as part of their Saving Grace Initiative, which aims to support Charleston’s historic Black churches and their congregations through preservation of their historic religious structures and cultural identity.<sup>1</sup> In response to the church’s desire to use this building as an event space, the research and treatment recommendations in this report are oriented to follow proper guidelines for the rehabilitation of the structure according to The Secretary of the Interior’s Standards for Preservation of historic buildings. The full scope of the project consists of documentation, measured drawings, conditions assessment, and treatment recommendations for both the exterior and interior spaces of the Educational Building at St. John’s Reformed Episcopal Church located at 91 Anson Street in Charleston, South Carolina. This report is an addition to the work completed by Clemson’s class of 2026, which documented and assessed the main sanctuary on the same property in the fall of 2024.



Photograph by Madison Pinion.

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<sup>1</sup> Historic Charleston Foundation, “Saving Grace Initiative,” 2024, <https://www.historiccharleston.org/preservation/programs/saving-grace-initiative>.



Undated, from Anson Street, Courtesy of The Roman Catholic Diocese of Charleston.

# Architectural Description

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## Site

The Education Building at St. John's Reformed Episcopal Church exists as a contributing building within the larger complex of the church grounds. On the site, there are four main buildings: the Educational Building, the former Rectory, the Sanctuary, and a former kitchen house. West of the Sanctuary is the Phillip Simmons garden, and south of the Educational Building is the Bell Garden. Paved sidewalks extend across the property and connect to each entry door for all buildings, and the Educational Building connects to the former Rectory and kitchen house by a covered breezeway. The property is enclosed by an iron fence.



AutoCAD drawing of the Site plan and Landscaping of St. John's Reformed Episcopal Church.  
From *Investigation, Documentation, & Conservation of St. John's Reformed Episcopal Church: 91 Anson St, Charleston, SC 29401*.  
Clemson University, Fall 2024.

## Education Building

The Education Building at St. Joseph's Reformed Episcopal Church is a Victorian-era building in a Folk or Carpenter Gothic Revival style. The building is wood-framed on a stucco concrete foundation with an L-shape plan.

The building was expanded with a later addition to the west, extending it roughly 15 feet along the entire west wall. This expansion enclosed the spaces now used for the kitchen, restrooms, storage, and HVAC system. The building is a single-story, six-bay wide, and seven-bay structure along its longer north wall. The south walls of the building are one bay and five bays deep. Board-and-batten siding clads the building's exterior walls, and pointed-arch windows and door frame define the east facade facing Anson Street. These features contribute to the Carpenter Gothic style of the building.

The education building has four entrances: double doors centered on the easternmost facade, a single door to the south on the setback east facade, and single doors on the north and south facades at either end of an interior hallway. The doors themselves are board and batten, giving the impression of recessed panels. All the doors except for the double doors have a three-light transom aligned at the top with the windows encircling the building. Above the double doors, a pointed arch frames battens assembled in a V-shaped pattern. All but one of the windows are six-over-six double-hung sash windows with large, tall panes that accentuate the verticality of the openings. The single exception, located just east of the assembly hall door on the north facade, is a twelve-over-six double-hung sash window. This may indicate that the windows were once twelve-over-twelve and that only one original sash remains, or that the sash was replaced with more convenient or cost-effective materials. The windows on the east and south facades, except those with pointed arches, are headed by wooden lintels ornamented with shallow pediments. A fixed-louvre vent is centered on each gable end between the gable pitches.

The roof is a standing metal seam, cross-gabled roof with a cupola at the intersection of the north- and east-facing gables. Due to the large addition on the west side of the building, the roof is now much more complex than it was originally. The roof now suggests a cruciform plan in the interior by mirroring the gable extension to the east with a hipped roof to the west over the kitchen and bathrooms. However, both sides of the hipped extension were also enclosed and covered by a complex shed roof, with ridges running from the corners to the intersection of the hipped roof with the gabled roof. This has resulted in an atypical roof form with eleven faces, seven ridges, and eight valleys. The cupola has a rectangular opening on each of its four faces covered by fixed louvres and surrounded by a wood trim frame for decoration. Sitting atop the cupola is a pyramid roof clad with fish scale shingles with a cross at its peak. The entire roof covering has been treated with a waterproof sealant coating.

The Education Building's cornice is relatively simple, with an undecorated frieze and a simple cove moulding that transitions to the soffit. The eaves of the building are similarly unadorned, but they are comprised of three thinner boards fixed side-by-side beneath the roof covering.

The interior of the Education Building consists of six rooms, a vestibule, and a hallway. There are two primary assembly halls, a kitchen, a storage closet, and a separate men's and women's restroom.

The two assembly hall rooms are located on the eastern side of the building, facing Anson Street, and occupy more than half of all the interior space. Separating the two rooms is a large rectangular opening with a single wood support column and a wood threshold. The flooring in the northern assembly hall is made of wood planks running east to west. The southern assembly hall is smaller, and the flooring is the same type of wood planks, but runs from north to south. The interior walls of both assembly halls have wainscoting with wood-paneled details painted an off-white/cream color. The walls above the wainscoting are clad with a freshly painted white beadboard. Two former window openings on the west wall of the southern assembly hall have been filled in with beadboard and painted white. The spacing of the beads on the beadboard for the filled window openings is smaller than the spacing of the beads of the assembly hall walls. There is a dropped decorative cornice in both assembly halls. The assembly hall ceilings are rectangular pressed-tin sheets painted white. The south assembly hall has two board and batten doors with transom lights, three panes wide.

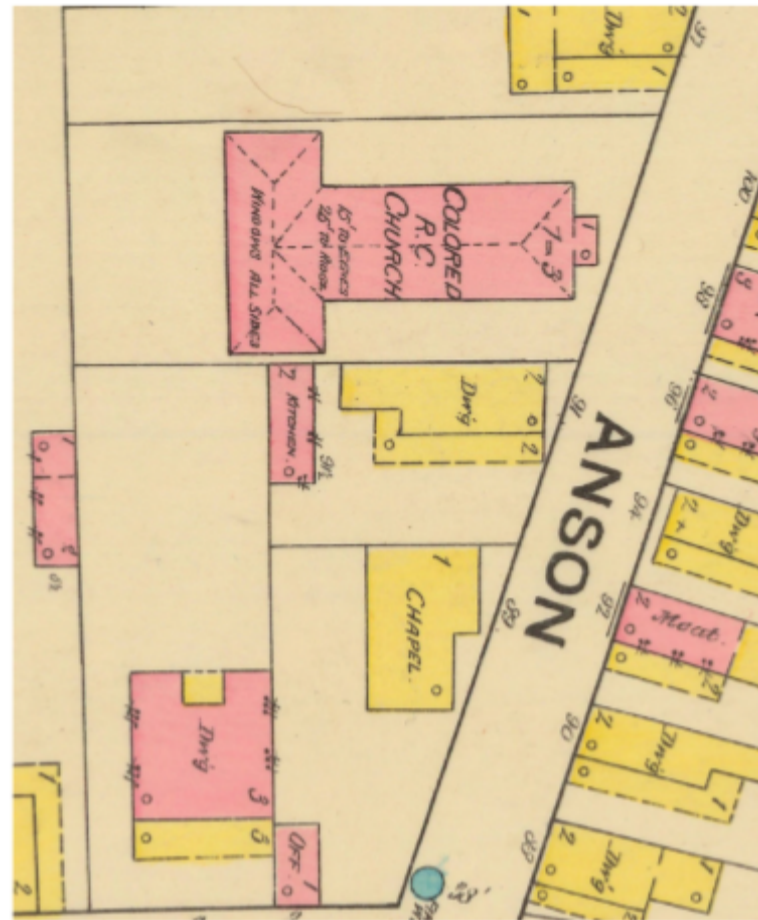
The western side of the building contains the kitchen, storage closet, restrooms, and vestibule. All rooms are separated from the two assembly halls by a narrow hallway. At the southern end of the hallway is a board-and-batten entrance door with a rectangular transom light, identical to the other doors of this style on the building.

The kitchen is located at the northern end of the hallway, sharing its east wall with the north assembly hall, and separated from the southern portion of the hallway with a recessed paneled door. There is another door with a transom light on this east wall, connecting the kitchen to the north assembly hall. The kitchen has a 12"x12" tile floor, faux-wood paneled walls, upper wood cabinetry, an island that connects to the built-in lower wood cabinetry, and two windows. One window is on the east wall and has blinds that open to provide sight into the northern assembly hall, and the other window is on the west wall above the sink, looking outward. One of the primary entrance doors is located on the north wall inside the kitchen. The ceiling is dropped and clad with a textured surface sheetrock. There are two shallow ornamental metal light fixtures over the island and one rectangular LED panel near the west wall.

The bathrooms and storage closet are located in the southwest corner of the building, with a vestibule between the three rooms. The vestibule opens to the hallway with a regular rectangular opening. The bathrooms, storage closet, and vestibule are all clad with painted drywall. The flooring in these rooms is wood plank, and the boards run north to south. The east and south walls of the hallway are painted beadboard in two tones to match the height of the wainscoting detail in the assembly halls. Both filled window openings from the south assembly hall's west facade are visible with the addition of the sills and trim.

Both assembly halls have centrally located suspended rectangular ceiling lights, two in the north room and one in the south. The HVAC ductwork is attached to the south interior facade in the north assembly hall room over the large rectangular opening. The HVAC system itself is housed in an open storage space above the bathrooms and closet, only accessible by a pull-down attic ladder in the vestibule space.

# History



1888 Sanborn Map; apse added in 1883. The school is labeled as a chapel in this map.

The main church building on the site, now home to St. John’s Reformed Episcopal Church, was built in 1850 by renowned South Carolina architect Edward C. Jones. Housing three congregations and enduring dramatic changes in the northern Ansonborough neighborhood, it has had a varied history—as has its ancillary school building.

After only a decade, the congregation of Second Presbyterian Church outgrew its Anson Street sanctuary, moved to a larger building on Calhoun Street, and put the old building up for auction in 1860.<sup>2</sup> It was purchased by the Roman Catholic Diocese of Charleston, which established its fourth parish, St. Joseph’s Roman Catholic Church, the following year. Its first rector was Rev. Leon Fillion, who served the church until his death from typhoid fever in 1865.<sup>3</sup> St. Joseph’s was intended to serve a burgeoning population of working-class Irish immigrants who fled from the Great Famine in their home country and had settled around lower Calhoun Street.<sup>4</sup> The parish church served as a cultural, religious, and educational anchor for this minority group, who were likely to have faced discrimination in an increasingly nativist South.<sup>5</sup> Shortly after its dedication, many of its congregants joined the Charleston Irish Volunteers to fight for the Confederacy at the First Battle of Bull Run.<sup>6</sup> The church property escaped Ansonborough’s 1861 fire unscathed, but it suffered considerable damage in the Civil War when it was shelled by Union troops, leading to major repairs in 1867.<sup>7</sup>

<sup>2</sup>Graduate Program in Historic Preservation Class of 2026, Graduate School of Architecture Certificate Students. *Investigation, Documentation, & Conservation: St. John's Reformed Episcopal Church; 91 Anson Street, Charleston SC 29401*, Clemson University, Fall 2024.

<sup>3</sup> Suzanne McIntosh, “104-Year-Old Parish: St. Joseph’s Church To Be Closed,” *Charleston Evening Post*, August 19, 1965, Box 1, Charleston, St. Joseph (Anson Street) Records 1883-2000, Diocese of Charleston Office of Archives.

<sup>4</sup> David T. Gleeson, “Irish,” *South Carolina Encyclopedia*, last modified August 5, 2022, <https://www.scencyclopedia.org/sce/entries/irish/>; “Centennial Observance of Saint Joseph’s Parish,” May 5, 1961, Box 1, Charleston, St. Joseph (Anson Street) Records 1883-2000, Diocese of Charleston Office of Archives.

<sup>5</sup> Nic Butler, “The ‘Irish Church’ in Mazyck’s Pasture: An Early Catholic Refuge in South Carolina?” *Charleston Time Machine*, no. 227 (March 11, 2022) <https://www.cepl.org/charleston-time-machine/irish-church-mazycks-pasture-early-catholic-refuge-south-carolina>.

<sup>6</sup> McIntosh, “104-Year-Old Parish.”

<sup>7</sup> “Centennial Observance of Saint Joseph’s Parish.”



1940, St Joseph's, Roman Catholic Diocese of Charleston.

One of St. Joseph Parish's chief functions was education. In 1867, its second rector, Rev. Charles Croghan, is believed to have opened a "short-lived school for boys" in the sanctuary.<sup>8</sup> Educational efforts at St. Joseph's persisted; an 1877 newspaper article reported that sixty boys regularly attended catechism classes on Sundays at the church.<sup>9</sup> Such consistent attendance and interest in learning may have later bolstered claims for the need for an academic institution and building. Ten years later, under the supervision of Rev. Francis J. Shadler the construction of a school house on the southern end of St. Joseph's property commenced.<sup>10</sup> In February, 1887, the *News and Courier* wrote that "The new school-house in St. Joseph's Parish promises to be a handsome building. It will be surmounted by a neat little tower."<sup>11</sup> The school opened later that year to serve "male pupils exclusively," while female students in St. Joseph's parish could attend St. Mary's School, operated by the Sisters of Mercy, around the corner on George Street.<sup>12</sup>

Photographs of pupils from the Roman Catholic Diocese of Charleston Archives indicate that girls were admitted to the school sometime by the late 1940s, though it remained racially segregated.<sup>13</sup> According to newspapers from the early twentieth century, the school was lively and frequently engaged with its community; its assembly halls frequently hosted plays, Christmas pageants, parties, and Parent Teacher Association meetings.<sup>14</sup>

The school ultimately closed in 1954, likely due to parishioners moving out of the Ansonborough neighborhood. A 1965 letter from the Bishop of Charleston to Pope Paul VI, requesting the suppression of St. Joseph's Parish, summarizes its plight in the 1960s:

For some years it has been evident that the parish of St. Joseph in Charleston, South Carolina, is not truly needed for the welfare of souls. The parish is located in the heart of the old city and, because of the population shifts which have taken place over the past twenty years, the number of resident parishioners has now dwindled to twenty-nine. There is little hope that the Catholic population will build up again within the territorial limits of the parish. A large area immediately across from the parish church is seen to be converted into a new civic center [the Gaillard Center]. This, together with the commercialization which has already begun and will intensify when the new center is completed, makes it unlikely that there will ever be many residents in the area.<sup>15</sup>

The diocese decided to sell the church and its outbuildings after more than one-hundred years of ownership. In 1968, Henry Ravenel appraised the entire St. Joseph's property to be worth \$86,000.<sup>16</sup> He described the school building as being "in a fair state of repair," and remarked on the pressed-tin ceiling already installed in the assembly hall.<sup>17</sup> It was sold to St. John's Reformed Episcopal Church for \$60,000, who moved into the buildings in 1971.<sup>18</sup> Since then, the congregation has used the building as an additional space for meetings and events. As of 2026, St. John's hopes to convert the assembly hall to an event venue.

<sup>8</sup> McIntosh, "104-Year-Old Parish."

<sup>9</sup> *Charleston News and Courier* (Charleston, SC), August 13, 1877, 4, *NewsBank*, <https://infoweb-newsbank-com.ccpl.idm.oclc.org/apps/news/?p=WORLDNEWS>.

<sup>10</sup> *Charleston News and Courier* (Charleston, SC), January 25, 1887, 8, *NewsBank*.; Jonathan Poston, *The Buildings of Charleston*, Columbia, SC: University of South Carolina Press, 1997, 425-426.

<sup>11</sup> *Charleston News and Courier* (Charleston, SC), February 4, 1887, 8, *NewsBank*.

<sup>12</sup> *Charleston News and Courier*, January 25, 1887.

<sup>13</sup> See appendix.

<sup>14</sup> *Evening Post* (Charleston, SC), December 26, 1924, 12, *Newsbank*.; *Charleston News and Courier* (Charleston, SC), February 21, 1924, 5, *Newsbank*.

<sup>15</sup> Bishop of Charleston, "Letter to Pope Paul VI." September 18, 1965. N. 100865, Box 1, Charleston, St. Joseph (Anson Street) Records 1883-2000, Diocese of Charleston Office of Archives.

<sup>16</sup> Henry LeN. Ravenel, "Appraisal of St. Joseph Catholic Church, Anson Street, Charleston, S. C." August 1, 1968, Box 1, Charleston, St. Joseph (Anson Street) Records 1883-2000, Diocese of Charleston Office of Archives.

<sup>17</sup> Ravenel, "Appraisal of St. Joseph Catholic Church."

<sup>18</sup> Walter H. Solomon, A. Bernard Solomon, and Ellis I. Kahn, "Statement of Settlement," Box 1, Charleston, St. Joseph (Anson Street) Records 1883-2000, Diocese of Charleston Office of Archives.

## Significance Statement

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Photograph by Madison Pinion.

The folk-Gothic building, soon to be used as an event space for St. John's Reformed Episcopal Church at 91 Anson, is historically significant because the previous congregation, Saint Joseph Roman Catholic, was only the fourth Roman Catholic church to be established in Charleston. Furthermore, the school was one of the first parochial schools in Charleston. As an early parochial school, it was among the first schools Irish Catholic parents may have been comfortable sending their children to. The period of significance for the Saint Joseph Roman Catholic School is 1887-c.1950s, the only period during which the building was used as a school. The Saint Joseph Catholic school was constructed in 1887, but the overall site had been used by the Catholic congregation since 1861, when the congregation took over the building after the Civil War, until 1965, when the Catholic church closed. The private school served the Irish Catholic immigrant community in Charleston for the period, providing an education for grades 1-6 that aligned with their values and beliefs.

The building is an example of Carpenter Gothic Revival Architecture, an uncommon style in the South Carolina Lowcountry, and a reminder of the historic character of Ansonborough. Gentrification has greatly altered the social landscape of Ansonborough, transforming it from a working-class neighborhood into one populated by wealthy white residents. In 1968, the Gaillard Center was built across the street from 91 Anson, completely changing the historic character of the street. 91 Anson and its dependencies, including the historic education building, are significant and reflect the neighborhood's evolution.

# Documentation Methodology

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1957, from George Street, Courtesy of The Roman Catholic Diocese of Charleston

## Scope of Work Overview

St John's Reformed Episcopal Church's Education Building provides insight into the building techniques of the late nineteenth century. Investigating this specific building allows the opportunity to learn more about the settlement of Irish Catholics in Charleston and the character of the Ansonborough neighborhood. Now a part of the Reformed Episcopal church, the education building will play a key role in the growth of the current congregation and is important to document for its typology and significance.

## Measured Drawings

The drawing documentation portion of this report was the first section completed. It consisted of multiple site visits measuring the interior rooms in small groups. Sketches were first done on site, followed by in studio work using AutoCAD. The exterior was then laser scanned by second year student Hamzah Jule, processed and cleaned up in Recap Pro, and drawn over in AutoCad. Each facade, interior and exterior, were edited and completed by Jacob Mossbrook. Conditions were then illustrated and marked over the AutoCad drawings.

## Photography

The building has little historic photograph documentation. Upon arriving at the site, each student took many detailed photos of the exterior and interior of the building as references for their drawings. Conditions assessments of each room and exterior facade were followed up by detailed photos of areas (see Conditions section for more). Finally, professional photographs were taken of the property by Madison Pinion using a Canon RP camera and a polaroid camera, edited, and assembled in Appendix F.

# Conditions

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**Overview**

The building’s exterior remains in fair condition. The exterior shows fresh paint, yet each facade displays evidence of weathering. At the southwest corner, the gutters have deteriorated significantly with open gaps. The western window surrounds have mold growing due to prolonged moisture exposure. There is biological growth climbing up and into the eaves on all facades. On the interior, both assembly halls have been freshly painted and are in good condition. There are issues with water intrusion in the hallway. Roof leaks have caused significant deterioration of the paneled ceiling in the hall. Difficulties regulating HVAC moisture have contributed to humidity issues, preventing the leak from drying out between failures. The surface treatment on the kitchen ceiling is detaching from the sheetrock backing, and the drywall tape is loose, causing the joints to open.

**Methodology**

The conditions analysis that follows is organized by cardinal direction for the exterior, and by room for the interior. The interior rooms listed below are: Assembly Hall 1, Assembly Hall 2, Hallway, Mudroom, Kitchen, Bathrooms, and Storage Closet. The exterior conditions analysis is for all facades facing North, South, East, and West. To provide consistency in ratings for deterioration, a scale was created that can be applied for each room or facade.






The formatted organization of this section puts all the information for each room and elevation together. Each subsection begins with the full elevation drawing with documented conditions, followed by a brief description of the documentation. Following the annotated drawings and written portion, there are specific photos of each room with the documented conditions. The systems of deterioration are labeled as Biogrowth, Corrosion, Surface Deterioration, Water Intrusion, and Structural Issues. The glossary that immediately follows this section explains each type of deterioration in further detail. The ratings for each system fall under the categories of Good, Fair, Poor, or Critical. The scale is listed below with definitions for each rating. For ease of use, the treatment option section at the end of this report is organized by material. This method will provide a streamlined process for future renovation or restoration work, as a material can be handled across the entire building in a single campaign, if so desired.

**Rating Scale for Facades and Rooms:**

Good	System conditions are stable and require little to no maintenance or repair.
Fair	System conditions, while still intact and working, need cosmetic maintenance and minor structural repair.
Poor	System conditions show signs of significant deterioration, requiring large-scale structural repair.
Critical	System conditions are in immediate need of repair and pose a danger to life safety.

### Attribution

This glossary draws on terminology from established conservation references, including the *National Park Service's Glossary of Historic Masonry Deterioration Problems and Preservation Treatments* (1984), the *ICOMOS-ISCS Illustrated Glossary on Stone Deterioration Patterns* (2008), and David Watt's *Surveying Historic Buildings* (2nd ed., 2011).

Biogrowth	
Corrosion	
Surface Deterioration	
Water Damage	
Structural Issues	

### Deteriorations

#### 1. Biological Growth:

Biological growth occurs when microorganisms such as mold, vegetation, and algae develop and spread through building materials under conditions of elevated moisture and inadequate ventilation. These organisms feed on organic matter or surface material, leading to staining, softening, decay, and progressive loss of material strength. Biological growth accelerates other deterioration by retaining moisture, breaking down protective finishes, and enabling further water exposure deeper into the building fabric. Due to growth resulting from water intrusion and poor environmental control, it is often an indicator of underlying water intrusion that must be addressed to prevent recurrence.

##### 1.1. Mold:

Microscopic fungus that looks like a soft, downy layer or small, star-shaped patches of plant fibers when viewed by the naked eye. Often appears in colors such as white, grey, or black.

##### 1.2. Vegetation:

Larger plant growth—including ivy, vines, and creepers—that establishes itself on or adjacent to building fabric. Roots, stems, and tendrils can penetrate joints, displace material, and obstruct drainage systems.

##### 1.3. Algae:

A microscopic, plant-like organism that lacks stems or leaves. When it is viewed by the naked eye, it appears as a powdery or slimy, veil-like substance, and is often green, red, brown, or black.

#### 2. Corrosion:

Corrosion occurs when metals deteriorate through chemical or electrochemical reactions with moisture, oxygen, salts, or atmospheric pollutants. It leads to material loss and eventual failure of structural or protective components. Corrosion is especially damaging when iron or steel is embedded in masonry or concrete. As the metal corrodes and expands, it exerts pressure that cracks the surrounding material. This accelerates other deterioration mechanisms by damaging structural systems, creating pathways for further moisture ingress, and triggering surface deterioration through oxidation, delamination, or spalling. Corrosion often reflects deeper problems with the building fabric—most commonly moisture intrusion, but also material incompatibility or exposure to adverse environmental conditions—which must be addressed to prevent progressive damage.

##### 2.1. Oxidation:

Oxidation occurs when ferrous metals are exposed to moisture and undergo a chemical reaction that produces rust. Rust causes an expansion of the material, which generates stress that can crack or displace adjacent materials.

##### 2.2. Patina:

A change in the color of a material that develops over time, either naturally or through artificial means, often without causing surface deterioration.

3. Surface deterioration:

Surface deterioration refers to the physical breakdown or loss of material at or near the surface of building components. This includes conditions such as cracking, chipping, delamination, and other forms of surface loss or deformation. These conditions may result from moisture intrusion, environmental conditions, or mechanical wear. Surface deterioration can compromise protective finishes, exposing underlying materials to the elements, and serving as an indicator of deeper structural or moisture-related issues.

3.1. Surface Cracking:

Shallow fissures on the surface of a material, often caused by weathering, shrinkage, or material aging. These cracks do not indicate structural movement or loss of load-bearing capacity.

3.2. Chipping:

The loss of material from the edge or surface that typically occurs as small fragments break away due to impact, abrasion, or stresses at corners or joints.

3.3. Hole

A localized area of material loss that forms an opening into or through a surface, which can compromise structural integrity and allow moisture or pest ingress. Holes may result from deterioration processes but may also result from human activity through intentional or accidental interventions.

3.4. Patch

A localized repair where material has been applied to fill a loss or cover damage. A patch itself is not a form of deterioration, but rather evidence of a previous condition of intervention. Depending on its material compatibility and workmanship, a patch may influence current conditions or obscure underlying deterioration.

3.5. Delamination

The separation of layers within a material resulting in a loss of cohesion between surface and subsurface layers. Delamination is often caused by moisture infiltration, corrosion of embedded elements, thermal expansion, or material incompatibility. This can lead to further cracking, spalling, or loss of material if not addressed.

4. Water intrusion:

Water intrusion occurs when water or moisture vapor enters or moves through building materials. It can cause staining, blistering, erosion, rot, and detachment of finishes. Once present, moisture accelerates nearly all other deterioration mechanisms by weakening materials, supporting biological growth, and accelerating corrosion. Moisture intrusion may result from failure in the building envelope, material porosity, capillary action, or poor drainage, and is one of the most destructive forces that affect a building's longevity.

4.1. Staining:

A discoloration or visible marks on building materials caused by the reaction of foreign substances such as moisture, biological growth, or metals. It is evidence of chemical or environmental processes affecting the material and may retain moisture or promote biological growth and corrosion.

4.2. Detachment:

The loss of adhesion between a material and its substrate or between layers within a material, resulting in partial separation. It is commonly caused by moisture infiltration, thermal movement, corrosion of embedded materials, or deterioration of bonding agents. This can progress to additional cracking, delamination, or complete loss of material.

4.3. Blistering:

The formation of raised, bubble-like swellings on the surface of a material caused by the separation of a surface layer from the substrate due to trapped moisture and vapor pressure. It indicates a loss of adhesion and internal pressure beneath the surface layer and if it progresses, blisters may rupture, leading to further material loss.

4.4. Weathering:

The gradual breakdown of material caused by long-term exposure to environmental conditions such as sunlight, moisture, and temperature fluctuations. Weathering is not a single deterioration mechanism but a process that can lead to or accelerate surface loss, detachment, and general material weakening.

4.5. Erosion:

The gradual wearing away of a material from the surface due to physical abrasion rather than chemical or biological processes. Erosion results in surface recession and thinning of material.

4.6. Rot:

The decomposition of organic materials caused by moisture and microorganisms. Rot results in the breakdown of structural fibers, leading to softening, discoloration, and eventual disintegration of the material. It can progress unseen beneath surfaces and may indicate persistent moisture problems or environmental conditions that support fungal growth.

5. Structural Issues:

Structural issues occur when the elements responsible for carrying loads weaken and no longer function as intended. They may arise from sagging, creeping, cracking, or any other changes to a building's load and equilibrium. Once present, structural deficiencies can accelerate other deterioration mechanisms by redistributing stresses, causing movement, and exposing the building materials to further damage. Because structural systems are interdependent, even localized defects can compromise overall stability and safety, making early diagnosis and understanding of their deterioration essential.

5.1. Sagging:

A downward deformation of an element caused by insufficient structural support or material fatigue or failure. Sagging indicates that the element's load-bearing capacity has been compromised.

5.2. Creeping:

A progressive deformation of a material or element caused by long-term, sustained loading. Creeping occurs when a material gradually continues to deform even without an increase in load, often due to material fatigue or inadequate structural support.

5.3. Structural Cracking:

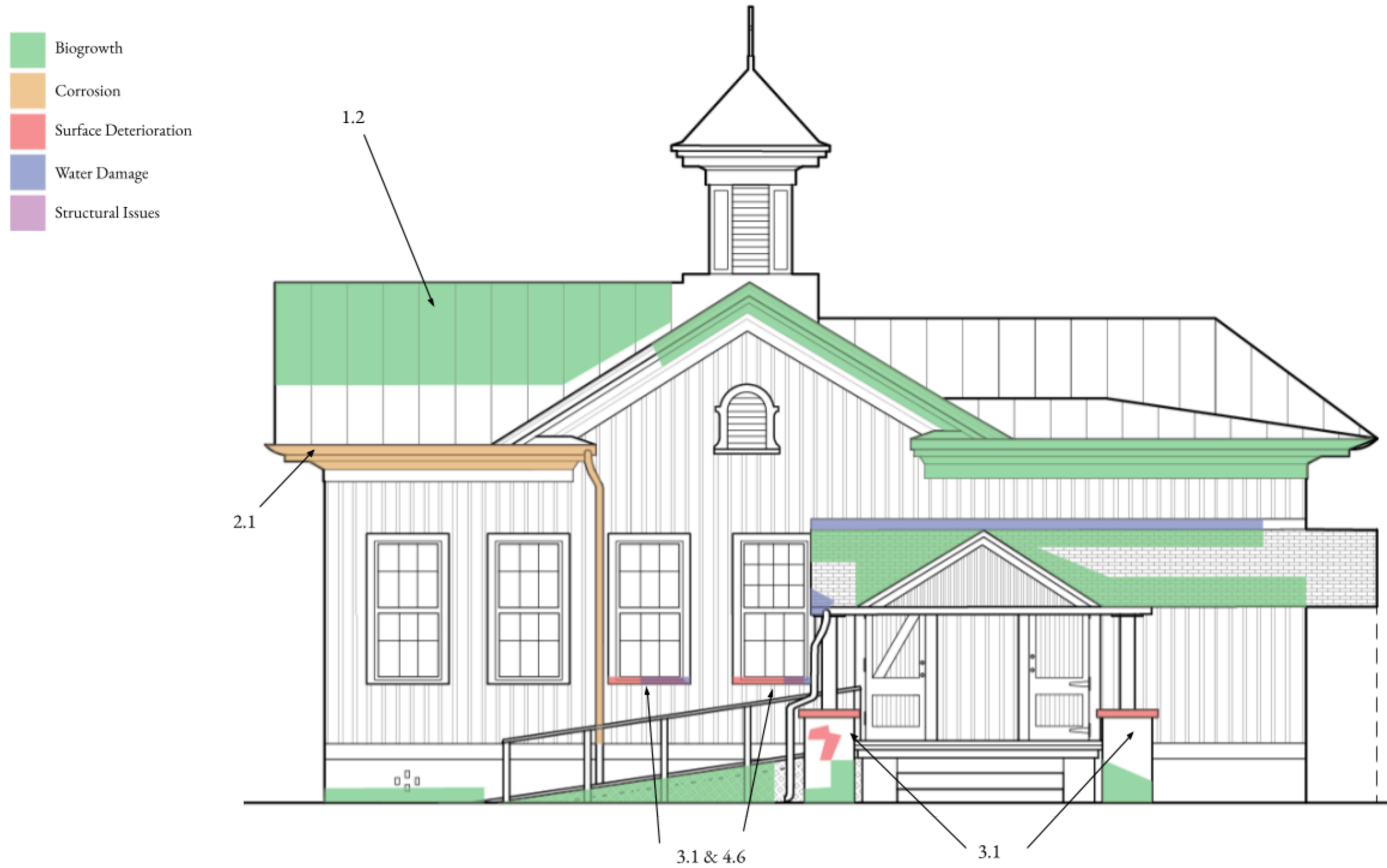
To penetrate deeply into a material or assembly and are associated with structural movement, settlement, deformation, or load-related stresses. These cracks may widen over time and can indicate instability or failure.



## **Exterior Elevations**

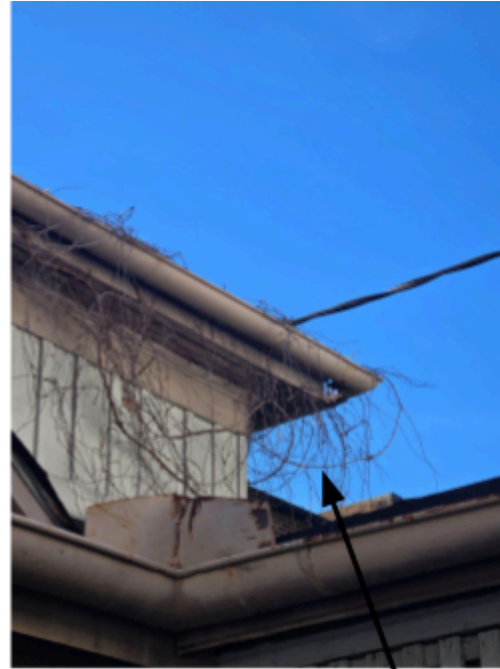
## North Facade

The North facade is in Fair condition. The oxidation on the drainage pipe poses a significant threat to the wood siding over time. Vegetation has spread from the north side of the facade to the peak of the roofline. Both window sills are weathered from water damage.





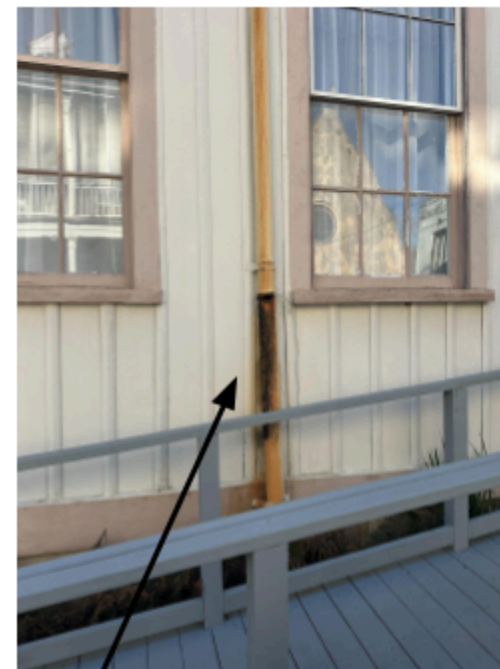
Water intrusion on porch overhang.



Vegetation on eaves.



Weathered window sill.



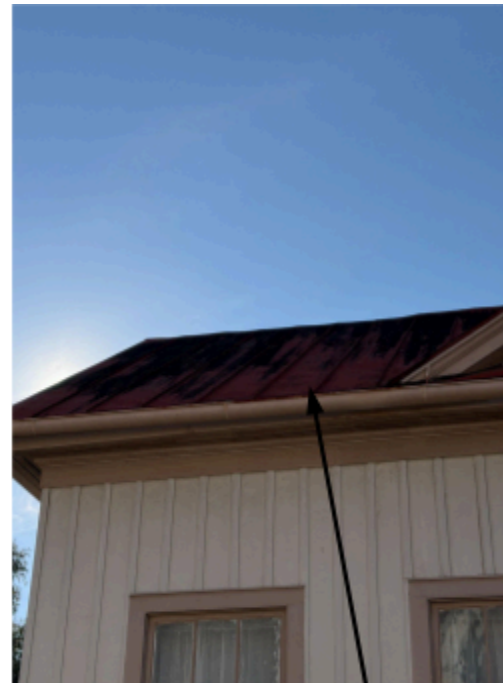
Corroded downspout.



Mold at porch to siding connection.



Water damaged support post and base.



Biogrowth on roof

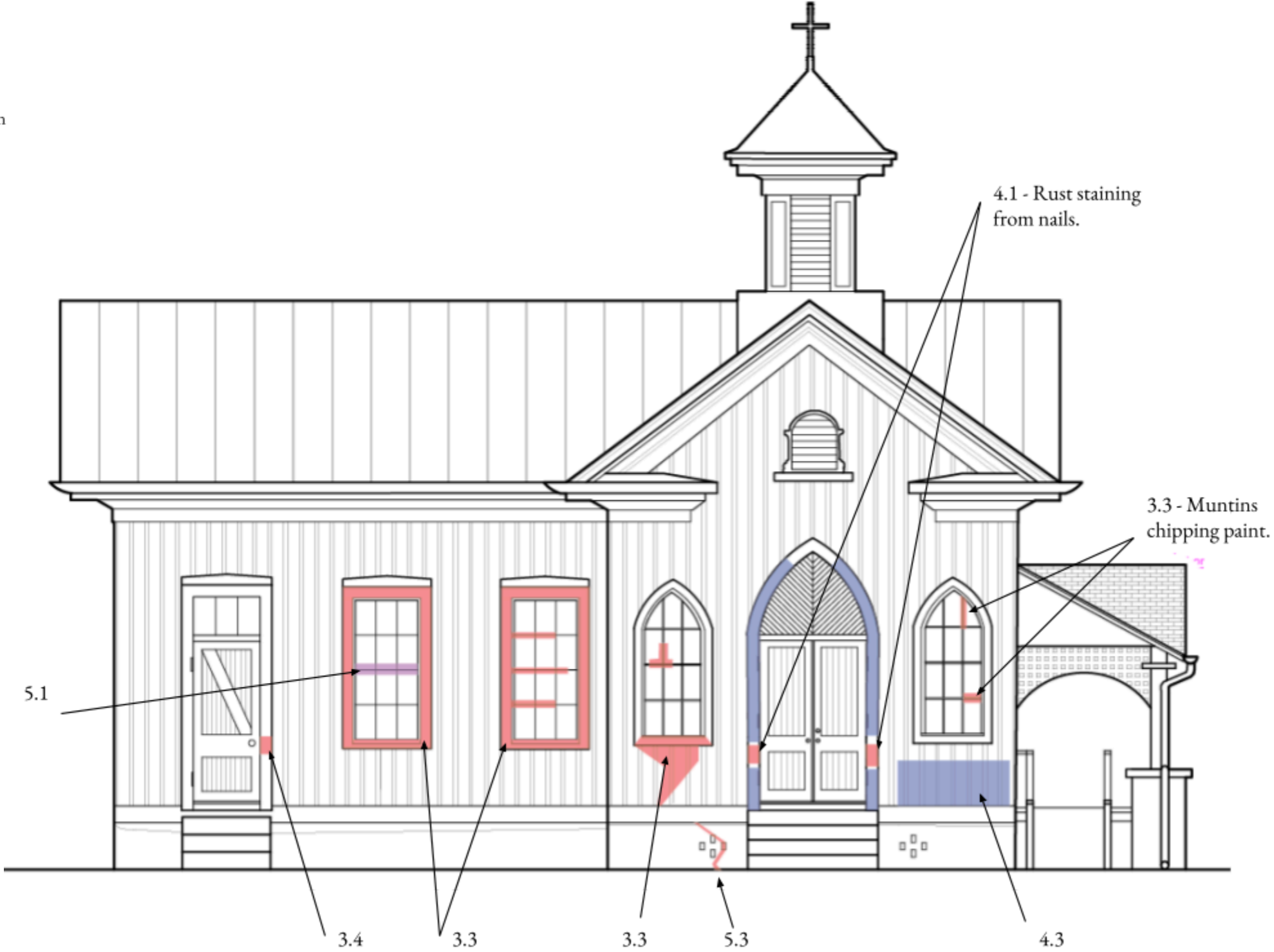


Rot under window opening.

# East Facade

The East facade is in Fair condition. This facade is not facing any significant challenges from biological growth or water intrusion. However, there are several cracks in the concrete masonry unit foundation, and the paint is chipping in many places, especially on window frames and muntins. There is minor rust staining from iron nails in the frame of the front door, and there is minor blistering of the paint north of the front door.

- Biogrowth
- Corrosion
- Surface Deterioration
- Water Damage
- Structural Issues





Missing window muntin.



Patching on door frame.



Chipping paint.



Structural foundation cracking.



Patina from corrosion on door frame.

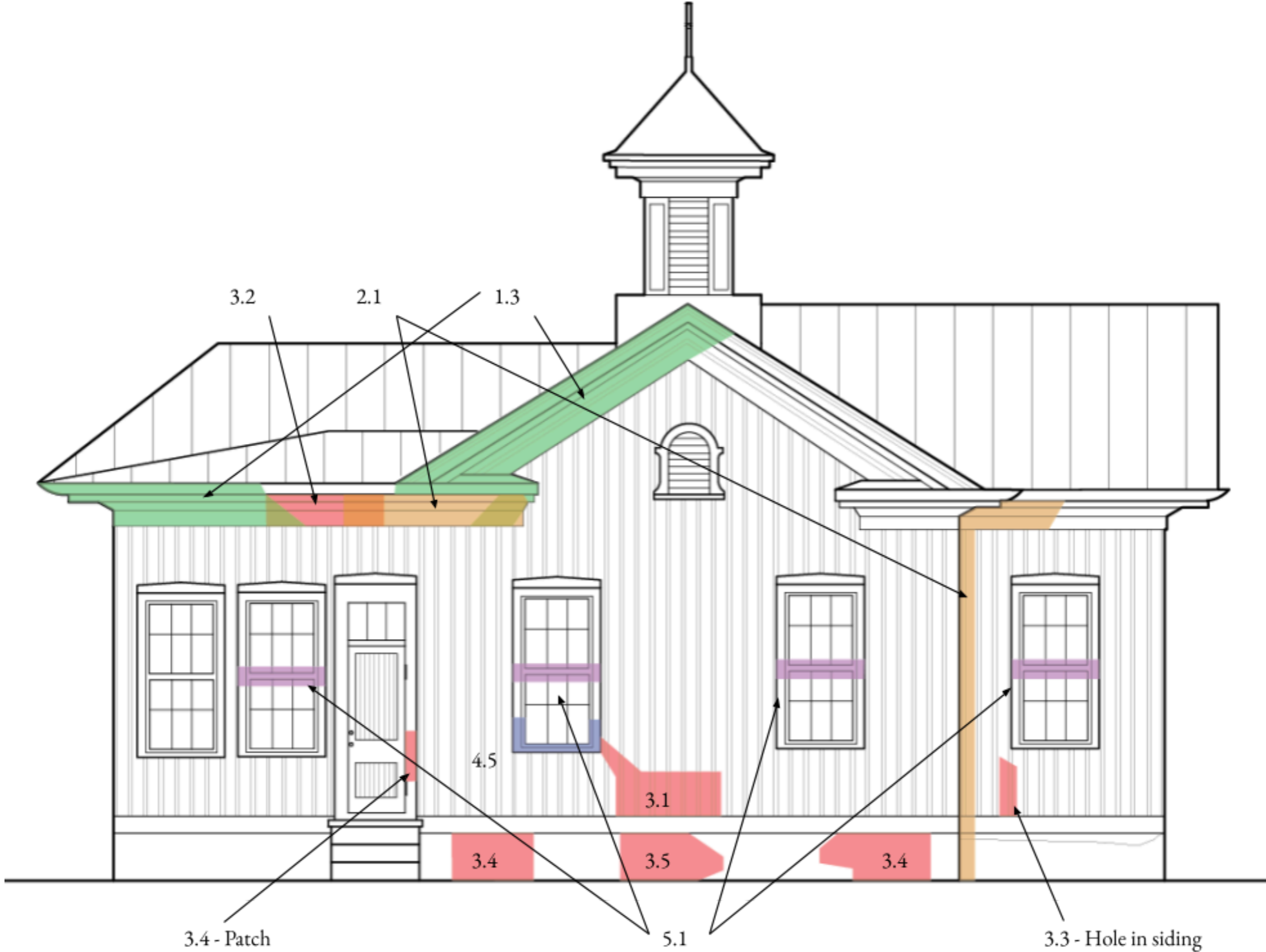


Water damage to window frame.

# South Facade

The South facade is in Fair condition. There is biogrowth creeping up to the peak of the roofline and corrosion where downspouts have been leaking water. Surface deterioration is visible throughout the facade as well as water damage on the window sill to the right of the door. The window sashes are sagging considerably.

- Biogrowth
- Corrosion
- Surface Deterioration
- Water Damage
- Structural Issues



South Facade (1)



Sagging window sash.

Corrosion of downspout.

Hole in siding from rot.

South Facade (2)



Vegetation on the eaves.

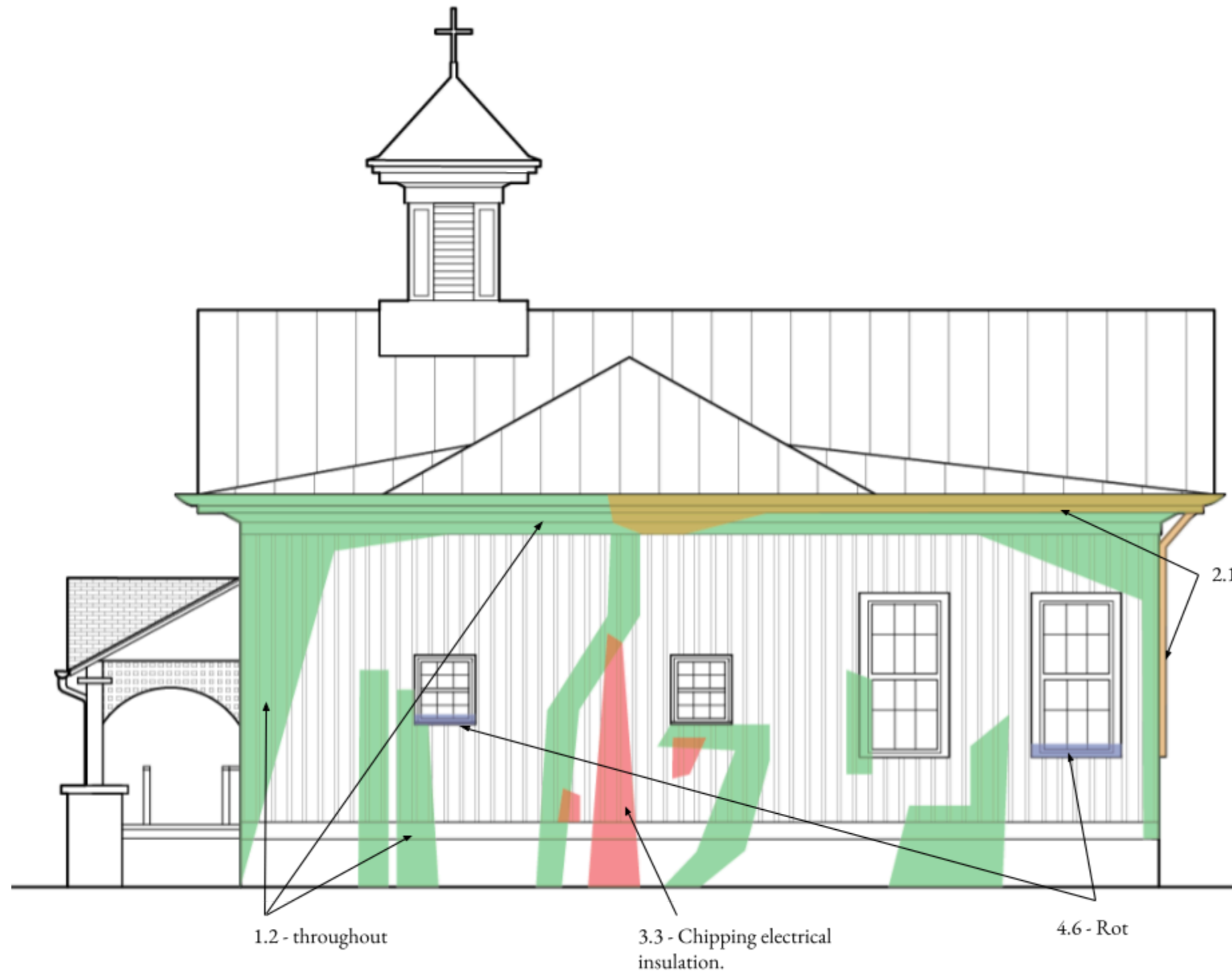
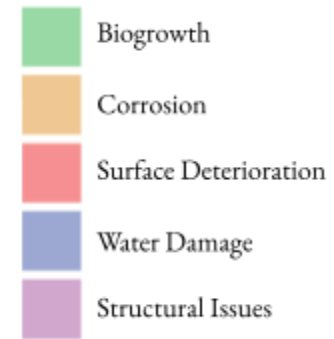
Paint and surface cracking.

Sagging window sash.

Patch on door frame.

## West Facade

The West facade is in Poor condition. The excess of biogrowth present on this 'back' facade is concerning. The gutter has corroded leaving weaknesses for water intrusion and damage.





Mold on window sill.



Rotten window sill.



Chipping electrical covers.



Rusted out gutters.



Rust and Patina on Gutters.



Cracking on siding.



Cracked glass in window.



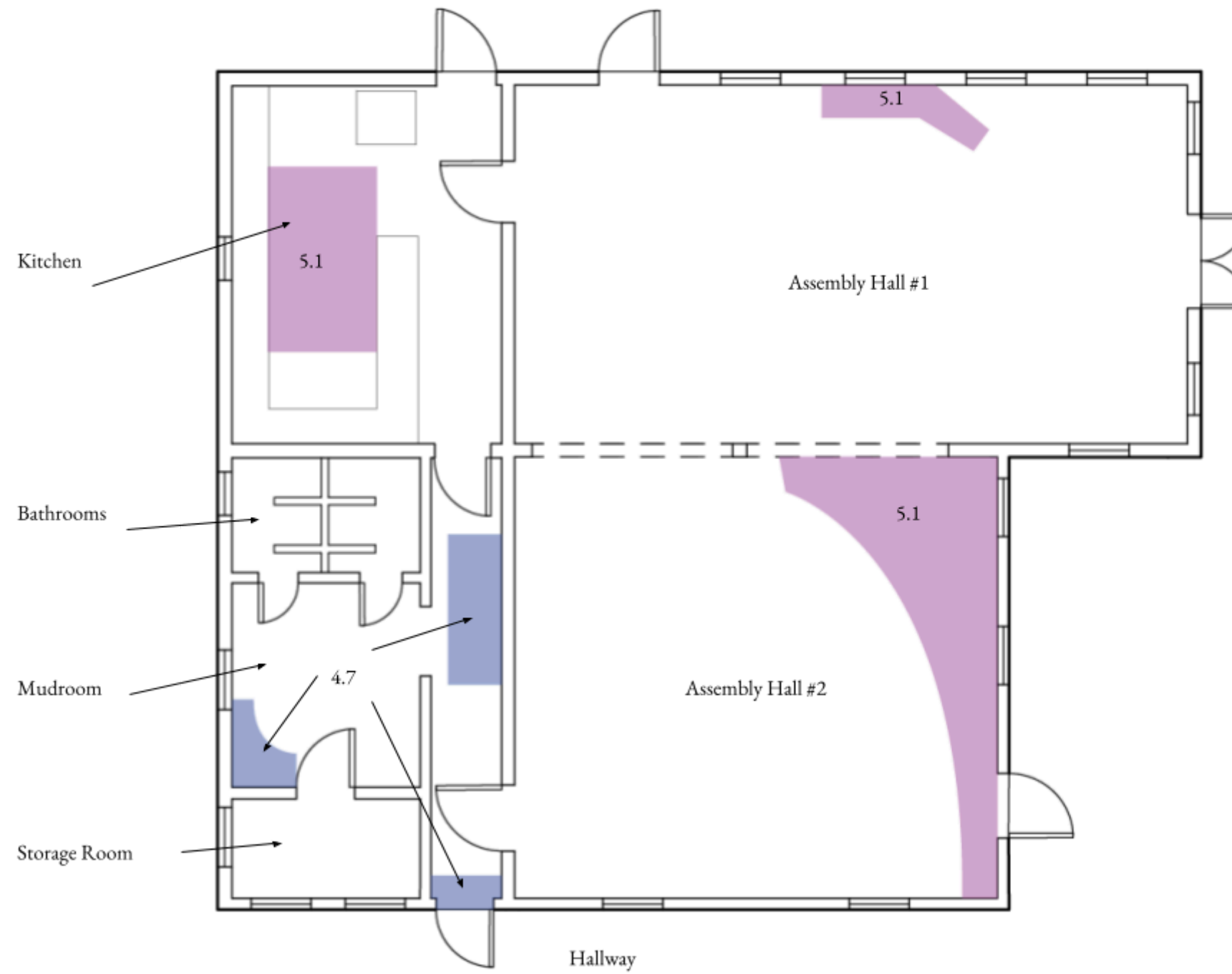
Vegetation on siding and in eaves.

## **Interior Rooms and Floor Plan**

# Floor Plan

The overall condition of the flooring is in Fair condition. There are minor structural issues in each room possibly due to the settling of the building or unstable piers beneath the building. In Assembly Hall #2, the floor system, likely the joists are sagging, resulting in an uneven floor. If left unchecked, these structural issues could worsen.

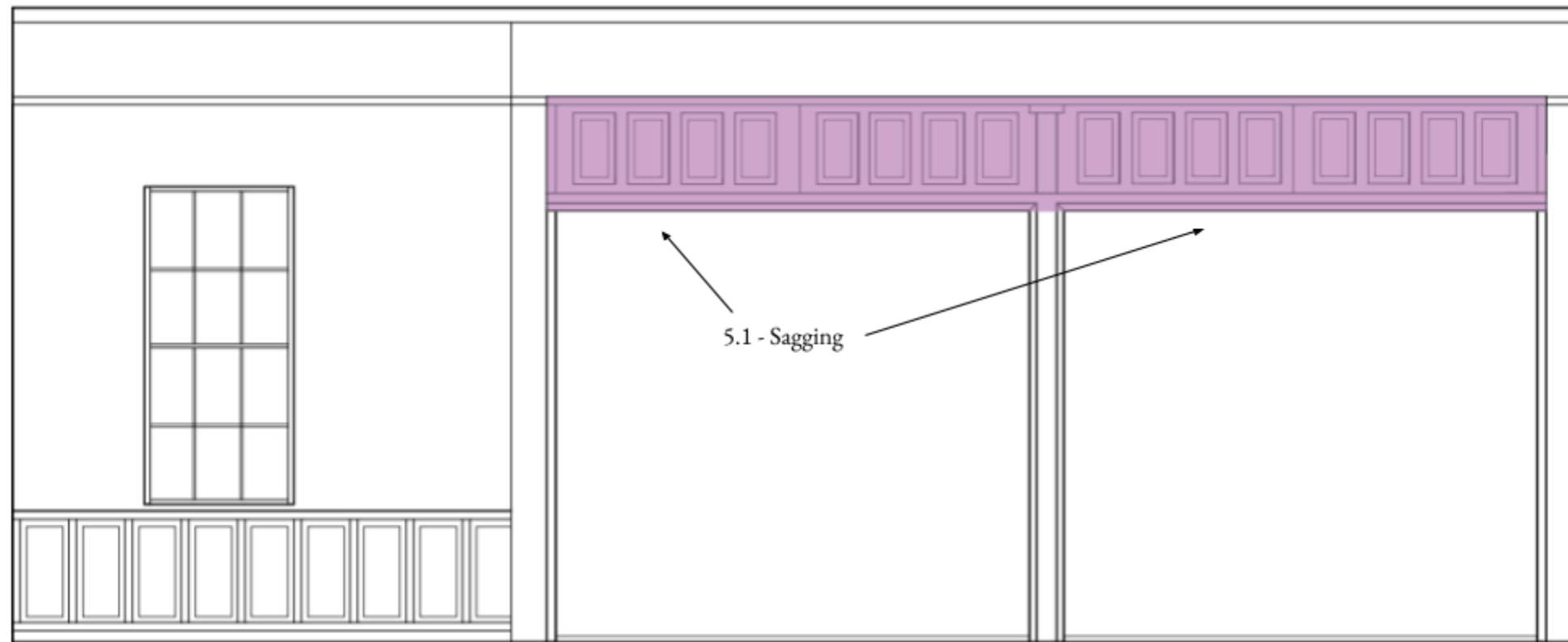
- Biogrowth
- Corrosion
- Surface Deterioration
- Water Damage
- Structural Issues



# Assembly Hall #1

Assembly Hall #1 is in Fair condition. The primary concern is a slight sag in the partition wall, and previous patches in the tin ceiling.

- Biogrowth
- Corrosion
- Surface Deterioration
- Water Damage
- Structural Issues



Assembly Hall #1: South Elevation



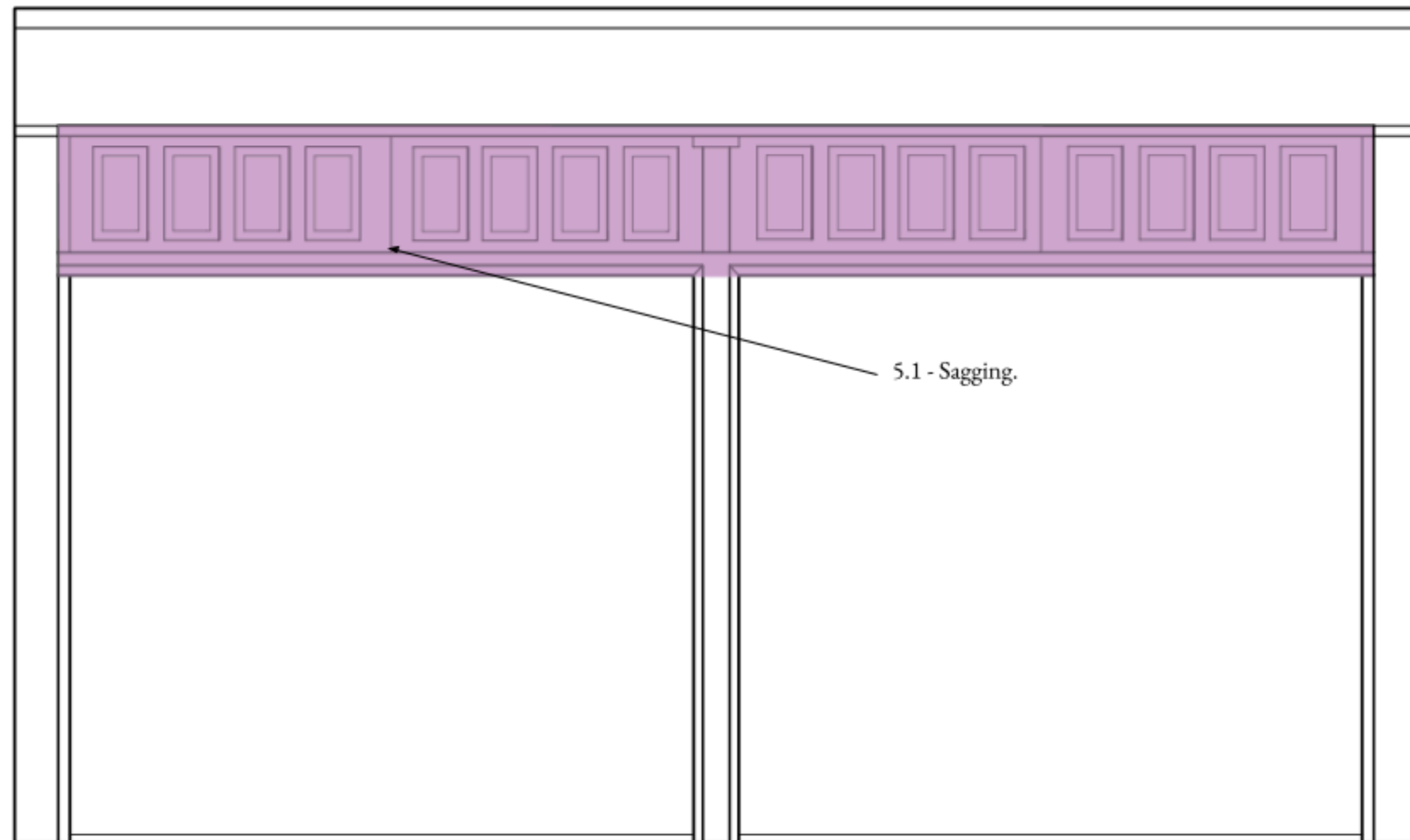
Two patched wood panels in tin ceiling.



Structural sagging in partition wall.

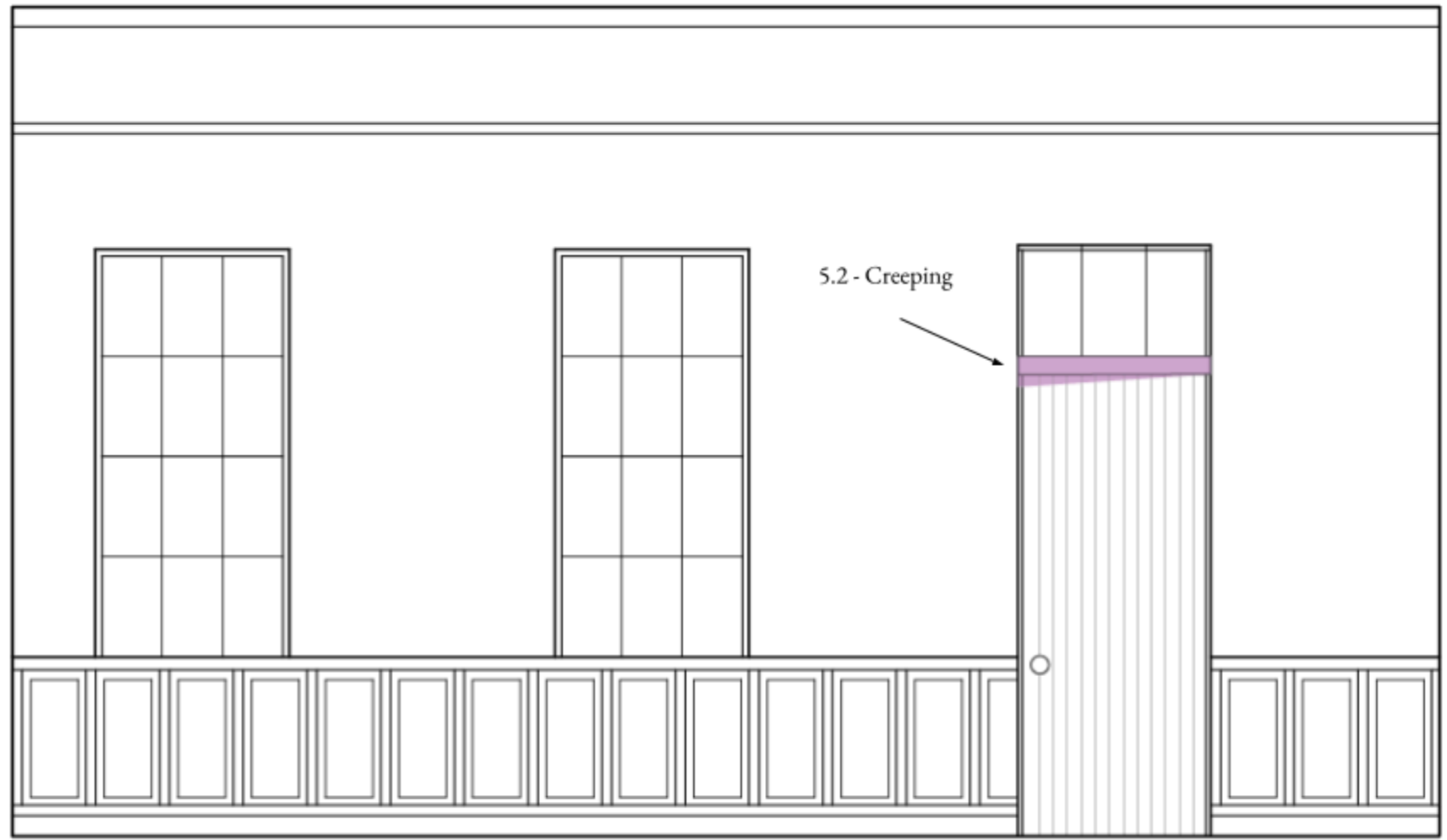
## Assembly Hall #2

Assembly Hall #2 is in Fair condition. The primary concern is a slight sag in the partition wall and a drop in the exterior door in the space.



- Biogrowth
- Corrosion
- Surface Deterioration
- Water Damage
- Structural Issues

Assembly Hall #2: North Elevation



Assembly Hall #2: East Elevation

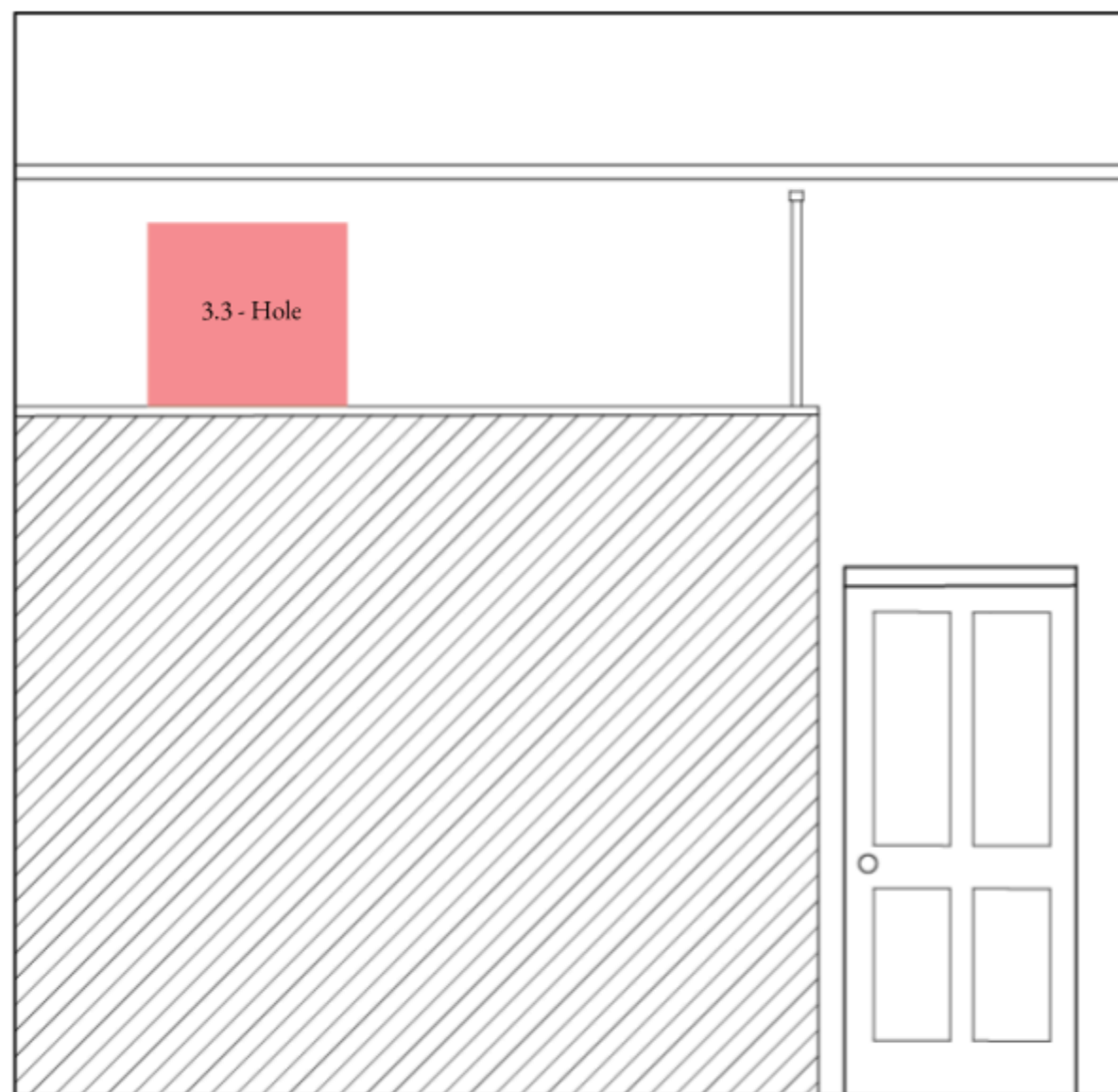
- Biogrowth
- Corrosion
- Surface Deterioration
- Water Damage
- Structural Issues



Structural drop above door frame.

## Hallway

The Hallway is in Critical condition, largely due to HVAC problems. There are holes in the walls, structural cracks, and significant water damage from the introduction of heating and cooling to the historic building. There is surface deterioration throughout all elevations, in varying degrees of intensity. The most concerning areas are on the ceiling near the ductwork for the HVAC where the boards are detaching due to rot and continuous water exposure.



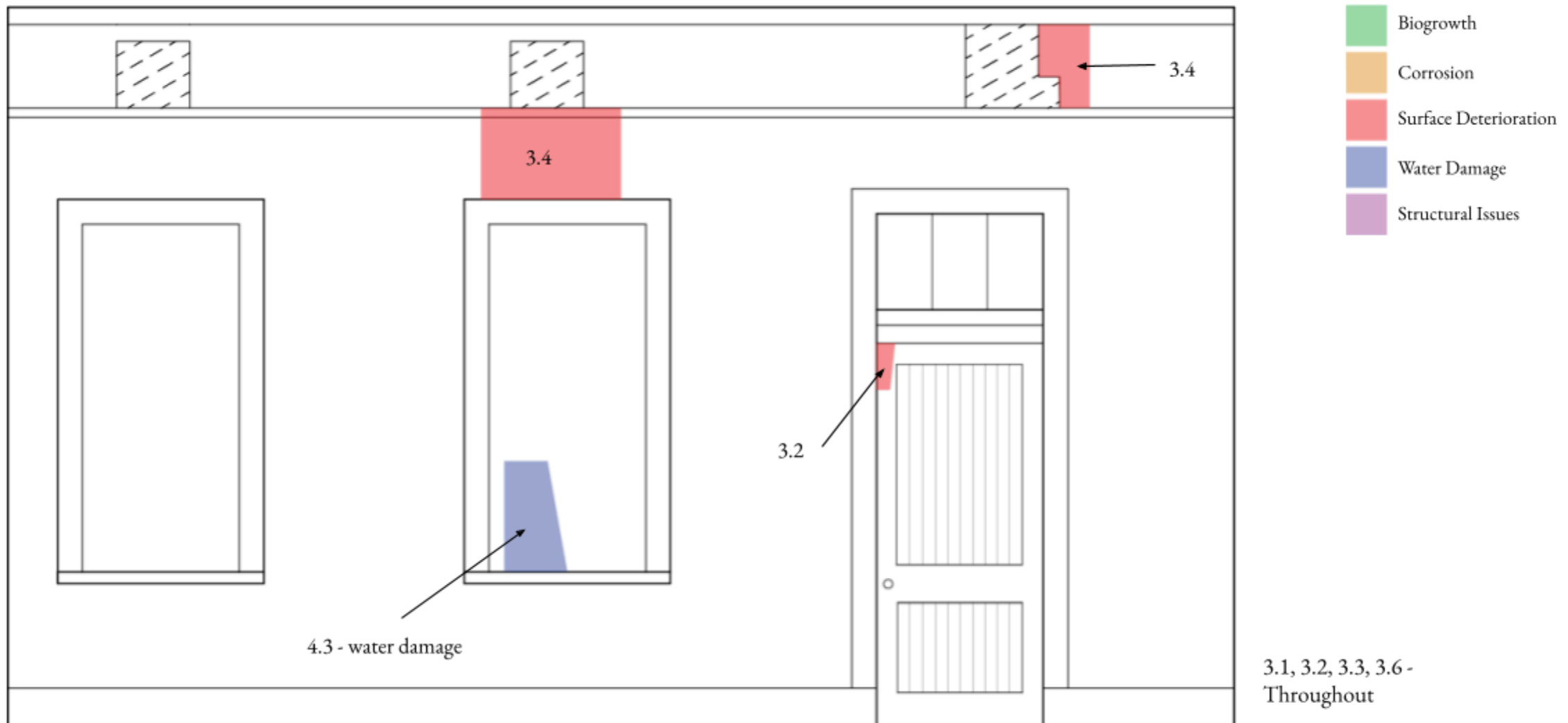
Hallway: North Elevation

- Biogrowth
- Corrosion
- Surface Deterioration
- Water Damage
- Structural Issues

3.1 - Throughout



Hole in wall above bathrooms.



Hallway: East Elevation



Water damage on door corner.



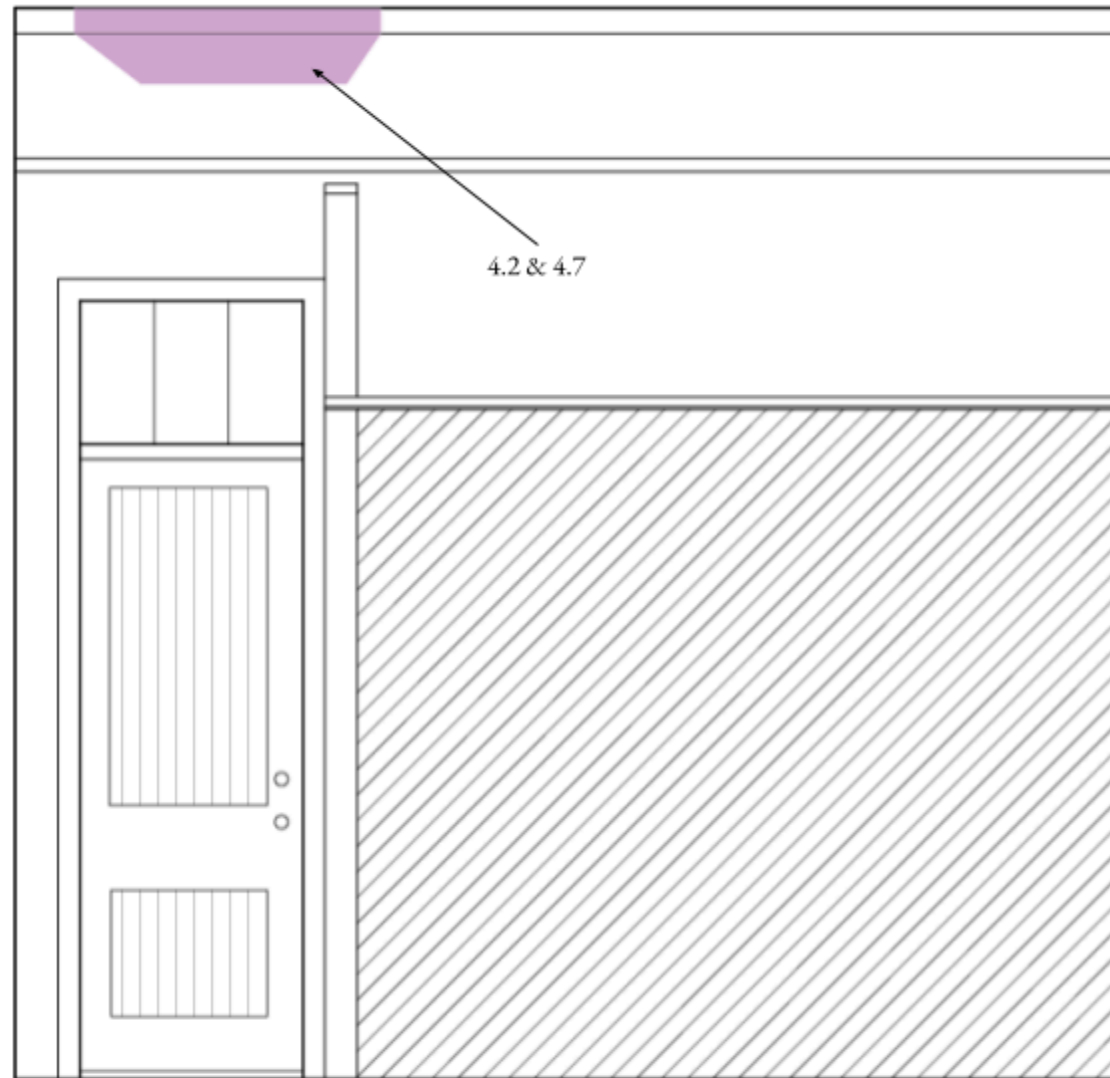
Surface deterioration,  
Hole in wall under HVAC duct.



Water damaged sill and infill board.



Chipping and breaking  
throughout.



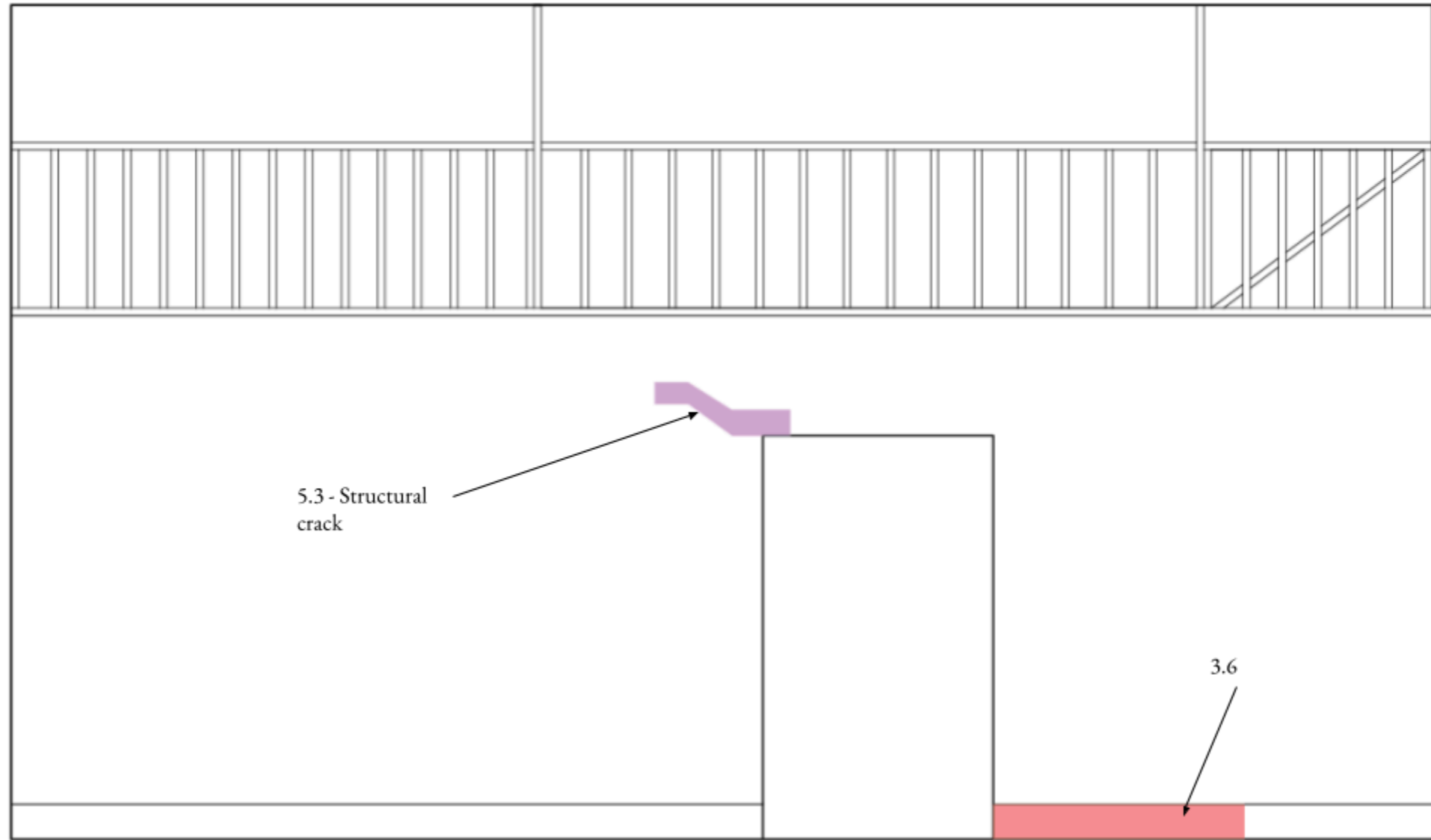
Hallway: South Elevation

- Biogrowth
- Corrosion
- Surface Deterioration
- Water Damage
- Structural Issues

3.2 & 3.3 - Throughout



Surface Deterioration throughout, water damage.



- Biogrowth
- Corrosion
- Surface Deterioration
- Water Damage
- Structural Issues

Hallway: West Elevation



Surface deterioration throughout.



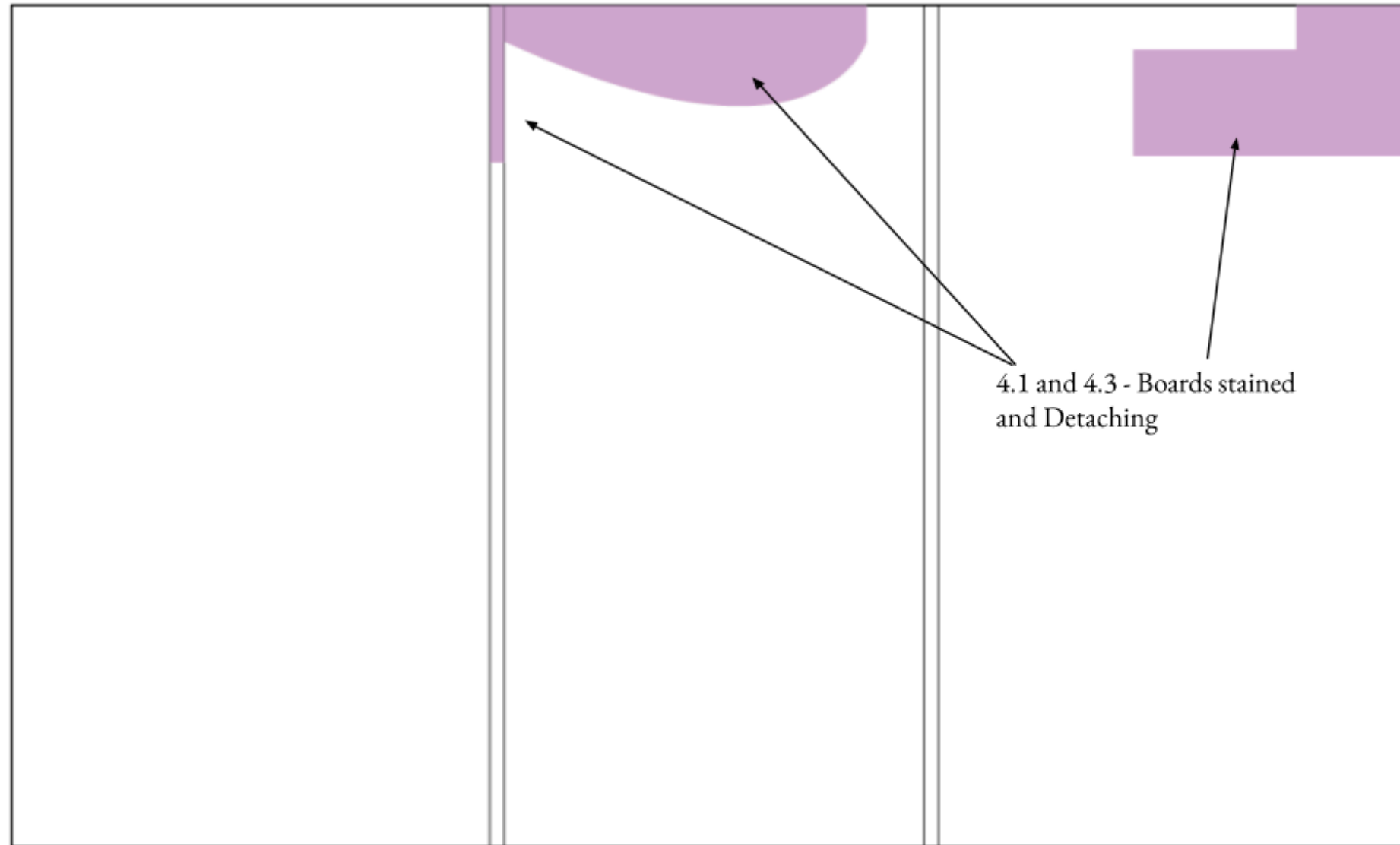
Structural crack near door opening.



Detaching baseboard.

- Biogrowth
- Corrosion
- Surface Deterioration
- Water Damage
- Structural Issues

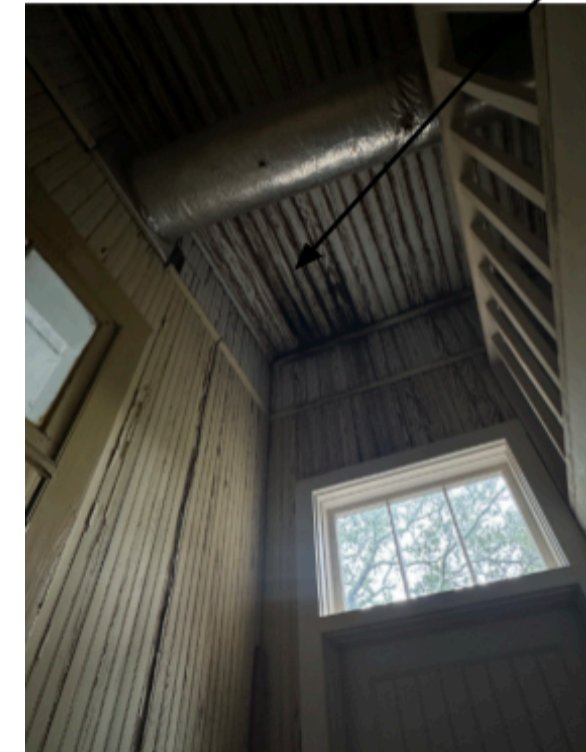
3.1, 3.2, 3.3 & 3.5 - Throughout



Hallway: Ceiling Plan

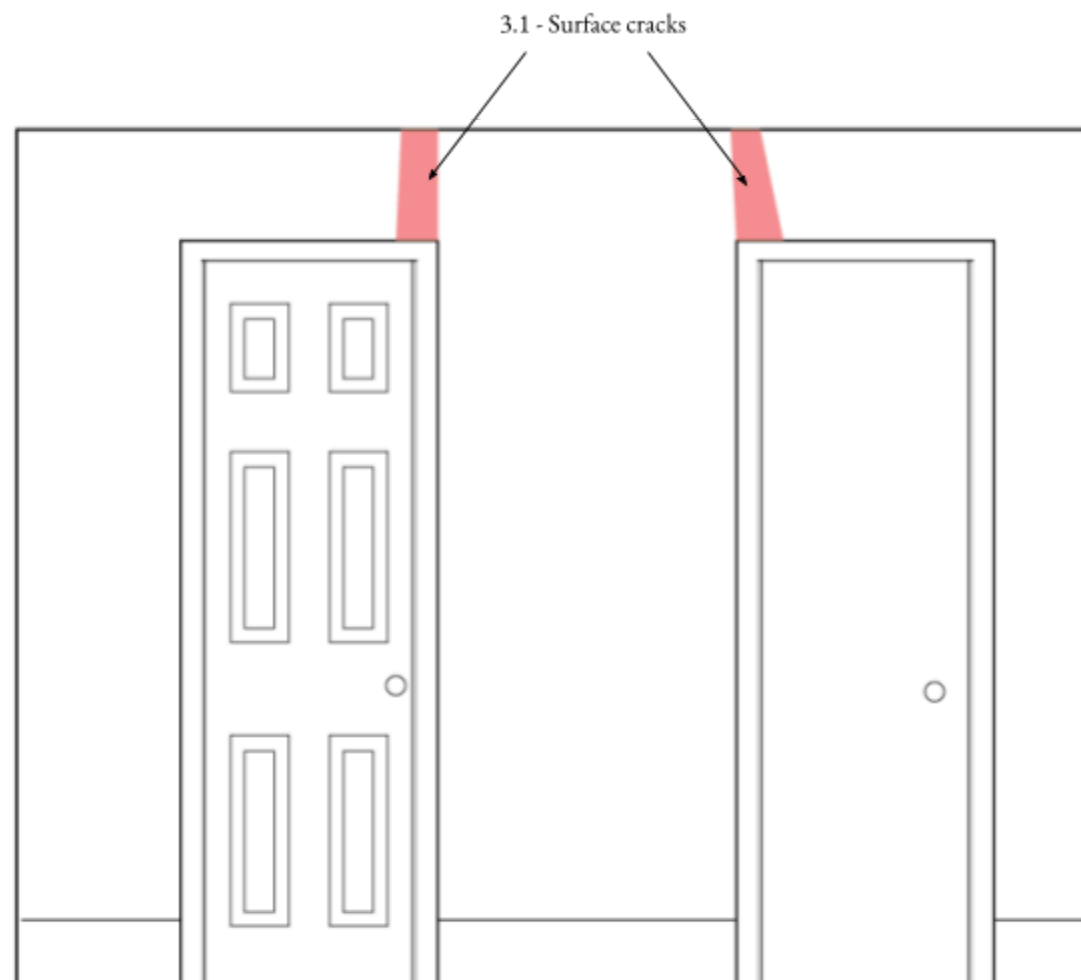


Ceiling boards stained and detaching.



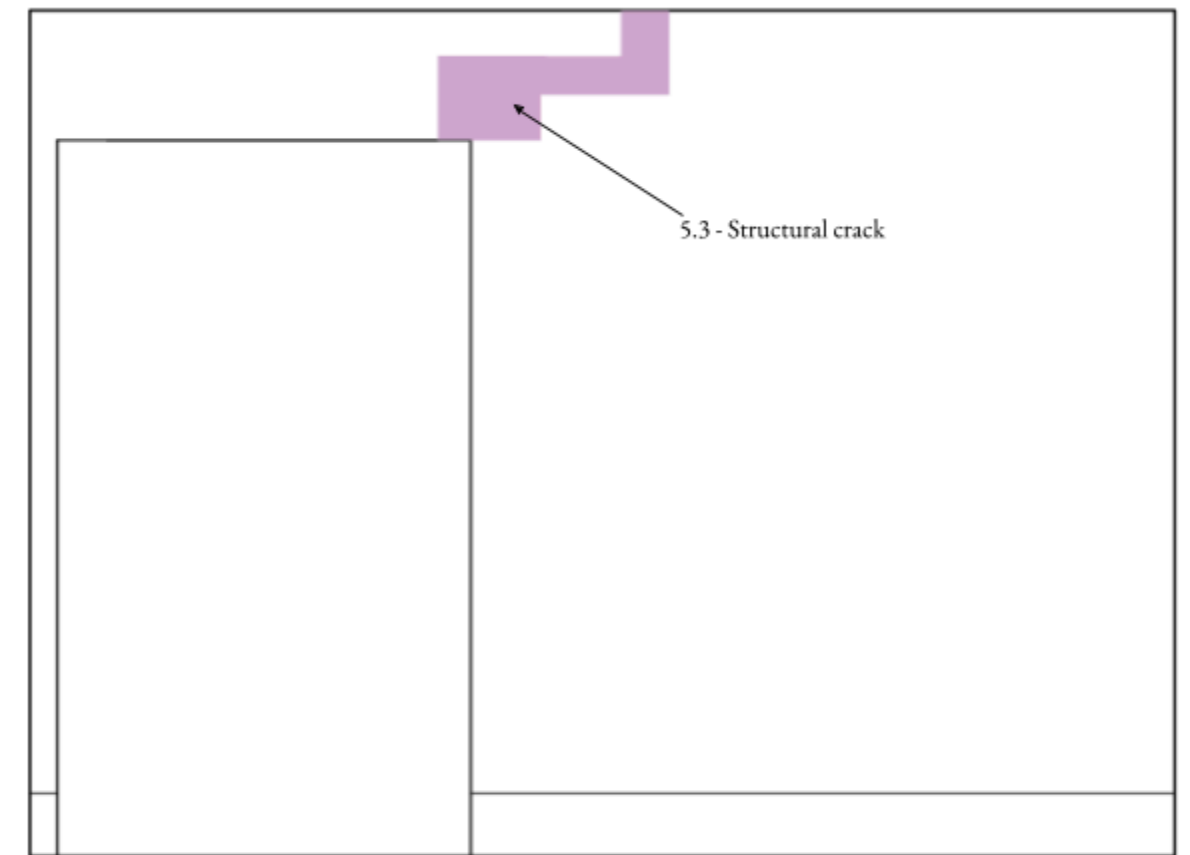
# Mudroom

The Mudroom is in Fair Condition. There are minor cosmetic and structural cracks developing at the tops of doorways and continuing to the ceiling on the north and east walls, respectively. Water intrusion at the northwest corner of the room, likely originating from the HVAC unit above the room in the attic, poses the greatest risks. Due to moisture, the northwest corner of the ceiling is sagging, demonstrating moderate staining, and the paint is detaching and blistering. Directly below this area, on the west wall, the moisture is causing staining, blistering, and splitting.



Mudroom: North Elevation

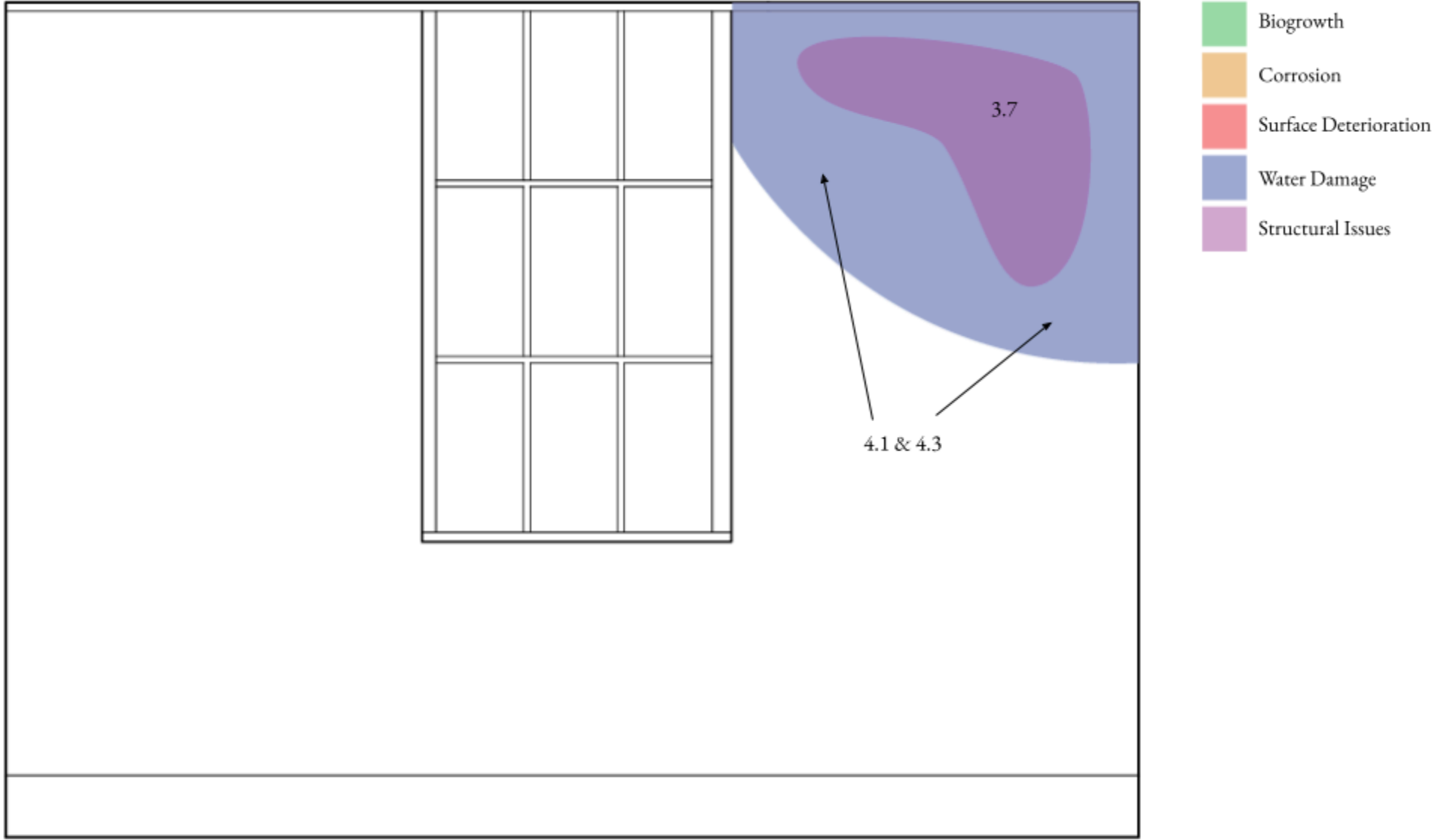
- Biogrowth
- Corrosion
- Surface Deterioration
- Water Damage
- Structural Issues



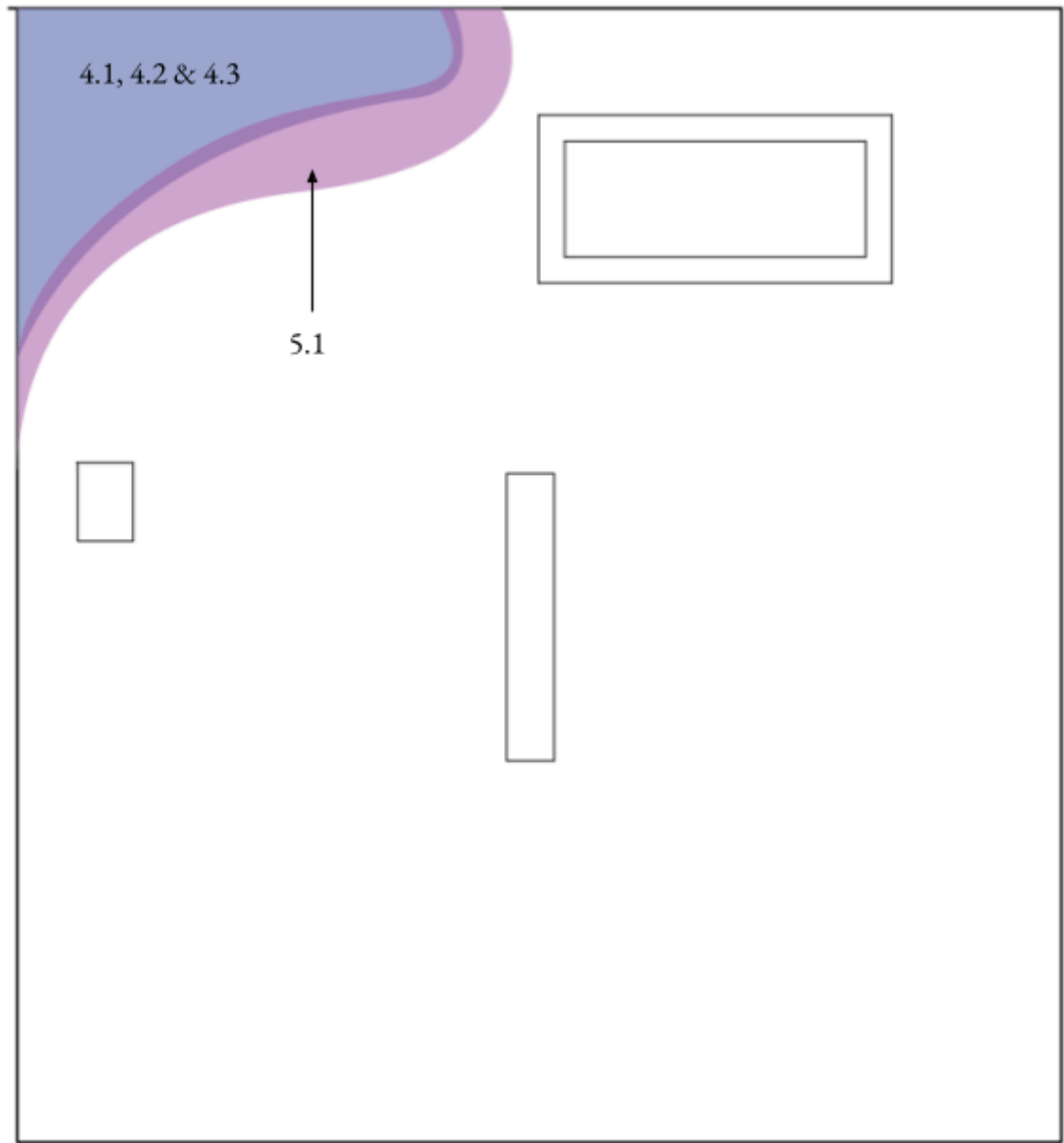
Mudroom: East Elevation



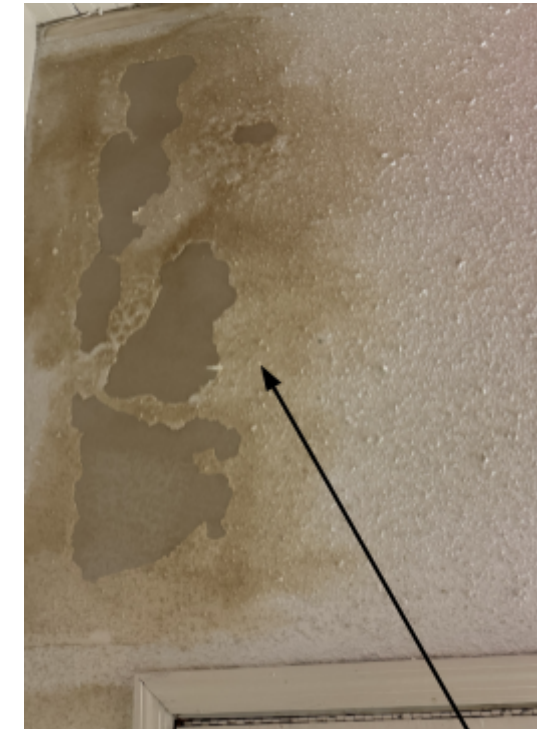
Structural crack over door opening on east elevation.



Mudroom: West Elevation



- Biogrowth
- Corrosion
- Surface Deterioration
- Water Damage
- Structural Issues

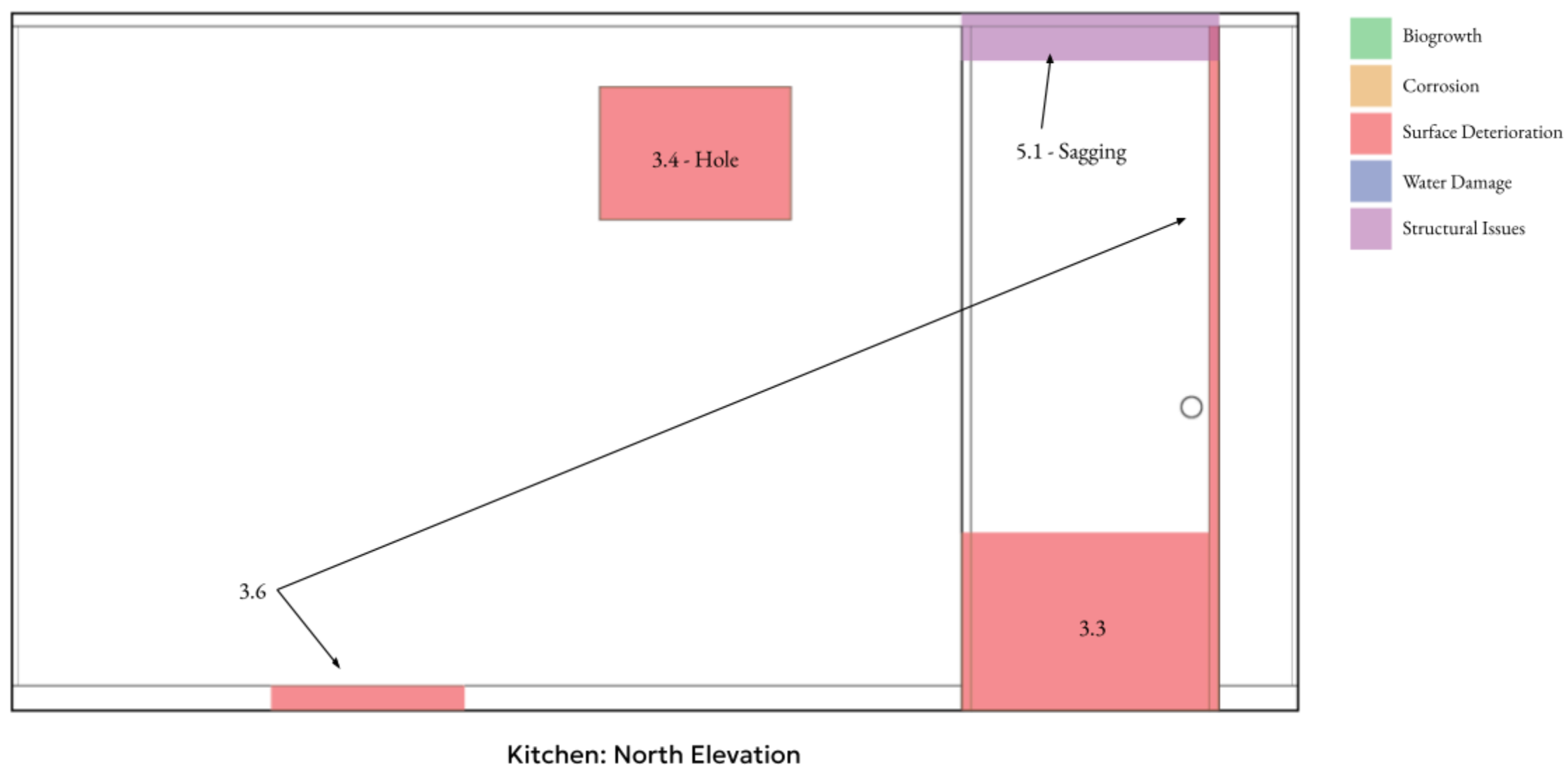


Prolonged surface deterioration.

Mudroom: Ceiling Plan

## Kitchen

The kitchen is in Critical condition. There is overall surface deterioration across all walls and especially the ceiling. In addition to the surface damage on the ceiling, there are structural issues present due to the detaching drywall from the ceiling joists that are already sagging. This should be remedied immediately and all assessors or visitors should avoid occupying the attic space above the kitchen, as it is unsafe. On the north facade, there is sagging at the top of the door opening, causing a gap to form that will accelerate the already present water intrusion issues.





Weathered threshold.



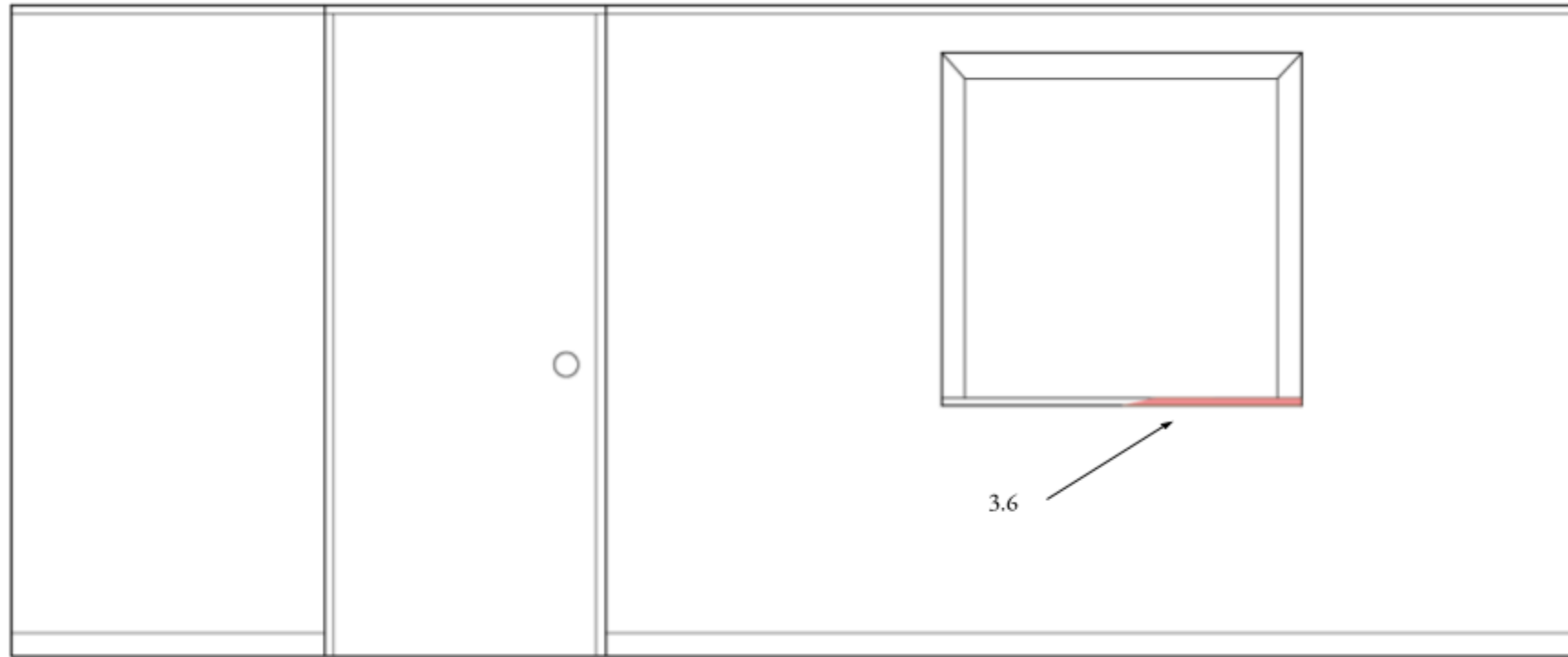
Gap over door opening.



Hole in paneling, insulation visible.



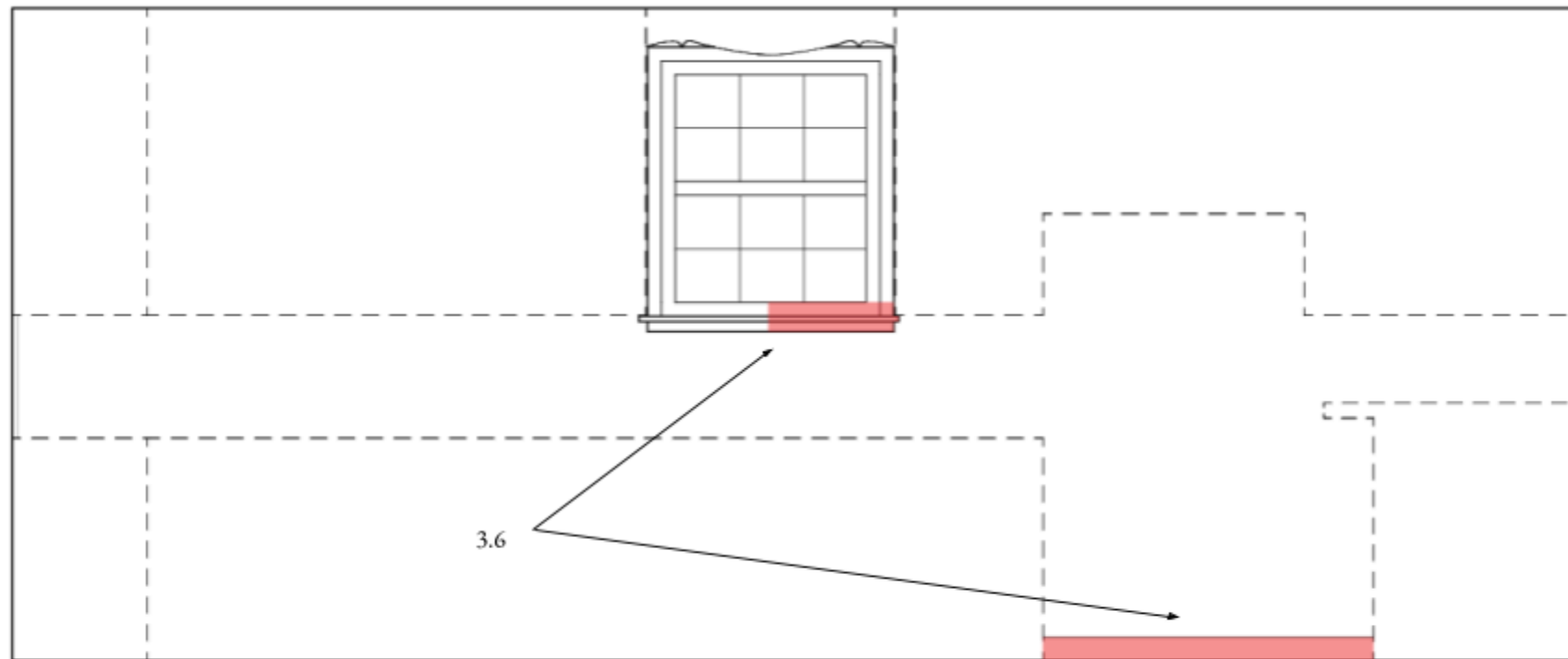
Water intrusion and detachment at entrance door.



Kitchen: East Elevation



Baseboard detaching from panelled wall.



Kitchen: West Elevation



Trim under window sill detached from wall.



Ceiling patch.



Popcorn surface treatment failing.



Crack at ceiling and wall connection.



Drywall sheet detaching from ceiling joists.



Ceiling patch, and wear on attic door from assembly hall door scratching.



Crack in surface treatment.

**Kitchen: Ceiling**

## Bathrooms

The bathrooms are in Fair condition. The women's bathroom shows very mild staining on all four walls, likely caused by humidity from the shower. The laminate flooring is lifting slightly in one place. The men's bathroom, which does not have a shower, shows only some very minor delamination of the surface treatment at the corners of the room



Delamination of laminate flooring.



Surface treatment failing around vent.



Structural crack near ceiling.

## Storage Closet

The storage closet is in Good condition. There is little to address in this room. The surface treatment is delaminating around the vent opening on the ceiling. On the southern wall, there is a small structural crack that extends from the top of a shelf to the ceiling.

# Treatment Options and Recommendations

## Overview

Rehabilitation is defined as the act or process of making possible a compatible use of a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values.<sup>19</sup> Rehabilitation work prioritizes historic building fabric to preserve examples of craftsmanship or distinction, regardless of a change in function. Alterations or interventions should be undertaken in a gentle manner and completed in a way that does not compromise the building's integrity. This section is a catalog of possible treatment options and general recommendations for all assessed materials and systems in the building. The exterior of the building shows deterioration in the concrete, wood, metal, glass and finishes. The interior of the building shows deterioration in the wood, metal, the tile, finishes, glass, and mechanical systems.

This written portion will address, in order, all materials listed above and provide examples of treatment for each. This section also covers the general recommendations for required code work to ensure that this space functions as the church intends. These code requirements primarily address issues of accessibility and life safety. Prior to undertaking any work, building conditions should be re-assessed by an engineer and all alterations or interventions should be completed by a knowledgeable contractor with experience working on projects containing historic building fabric and fluent in the language of building codes. Direct communication with the City of Charleston and the Chief Building Official for the city (Ken Granata) should be made to help facilitate the direction of the contractor in order to meet the code and permit requirements for the rehabilitation of the Educational Building.

## Attribution

Most treatment options that follow draw from specific recommendations found in *The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring & Reconstructing Historic Buildings* (2017).

## Code Required Work

Sensitive solutions to meeting code requirements in a Rehabilitation project are an important part of protecting the historic character of the building. Work that must be done to meet accessibility and life-safety requirements must also be assessed for its potential impact on the historic building, its site, and setting.<sup>20</sup> The City of Charleston currently operates under the 2018 International Building Code (IBC)

and International Fire Code (IFC), as well as the 2005 National Electrical Code (NEC)<sup>21</sup> It is determined that a building must be brought up to code if there is determined to be a change of occupancy, otherwise meaning a change in use or function. It will be up to the City of Charleston to determine if the future use of this property constitutes a change in occupancy - which would require new codes to be followed. For the purpose of this section, information has been compiled as if the building will require these changes.

The International Existing Building Code (IEBC) is a specific set of codes that is preservation centered, to encourage the use and reuse of existing buildings. The codes cover repair, alteration, addition and change of occupancy for existing and historic buildings, while achieving appropriate levels of safety without requiring full compliance with the new construction requirements contained in other codes.<sup>22</sup> The following recommendations are pulled directly from the code book and cover the general use of materials, accessibility and safety with important exceptions that would suit the current building. Section 302 in the International Existing Building Code (IEBC) states that all materials already in use in a building and already in compliance with requirements or approvals in effect at the time of their affixture or installation shall be permitted to remain in use unless determined by the code official to be unsafe. Furthermore, materials and new structural members should be used for repairs and alterations, provided that unsafe conditions are not created. Hazardous materials shall not be used where the code for new construction would not permit their use in buildings of similar occupancy, purpose and location.<sup>23</sup>

Section 306 states that where compliance with the requirements for accessible routes, entrances or toilet rooms would threaten or destroy the historic significance of the structure, exceptions are allowed. Section 307 and 308 state that smoke alarms and carbon monoxide detection should be present, with minor exceptions outlined in section 308.1. Finally, Section 309 states that where exterior wall coverings are added or replaced, the materials and methods used should comply with the requirements for new construction in Chapter 14 and Chapter 26 of the IBC if the added or replaced materials involves two or more contiguous stories and comprises more than 15 percent of the total wall area on any side of the building.<sup>24</sup>

<sup>19</sup> Grimmer, Anne E. "The Secretary of the Interior's Standards for the Treatment of Historic Properties: With Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings." U.S. Department of the Interior: National Park Service: Technical Preservation Services: Washington, D.C., 2017.

<sup>20</sup> *Ibid.*

<sup>21</sup> City of Charleston, SC, "Sec. 7-26. - South Carolina Residential and Building Code—Adopted," in "Code of the City of Charleston, South Carolina," Code of Ordinances, Municode Library (accessed February 21, 2026), [https://library.municode.com/sc/charleston/codes/code\\_of\\_ordinances?nodeId=CICO\\_CH7BUBURE\\_ARTIISOCABUCO\\_S7-26SOCAREBUCODO](https://library.municode.com/sc/charleston/codes/code_of_ordinances?nodeId=CICO_CH7BUBURE_ARTIISOCABUCO_S7-26SOCAREBUCODO).

<sup>22</sup> "Chapter 3: Provisions For All Compliance Methods," in 2021 International Existing Building Code, April 2022, International Code Council, <https://codes.iccsafe.org/content/IEBC2021P2/chapter-3-provisions-for-all-compliance-methods>.

<sup>23</sup> *Ibid.*

<sup>24</sup> *Ibid.*



### Concrete (Masonry)

- Concrete Masonry Units (CMU)
- Stucco

The exterior masonry consists of concrete masonry units (CMU) and stucco concentrated as the foundation for the building. These materials are likely not historic or installed at the time of construction. In following the National Parks Service recommendations for treatments, the masonry will be assessed as a rehabilitation project. The primary condition problems with masonry include structural cracking (east facade) and patching or holes. The structural cracking should be further assessed by a preservation engineer or a qualified contractor. As much masonry as possible should be retained in following rehabilitation standards. Limited replacement should be possible given the conditions as long as structural concerns are not a problem. In areas where the masonry is deteriorating, repairing in kind with a compatible substitute material would be advised. The damaged stucco should be removed and patched with new stucco that is similar in strength, composition, color, and texture. If the cracking is deemed to not be structurally related and instead cosmetic, sealing joints in the concrete can be repaired with a flexible sealant and possibly backer rods, if necessary.



## Wood

- Doors
- Double hung windows
- Door frames
- Siding
- Trim
- Soffit

The primary material on the exterior of the Education Building at St. John's Reformed Episcopal Church is wood. The doors, window frames, siding, trim, and soffit are all made of wood. Based on the few historic photographs from the Diocese archives, the board and batten siding is historic and should be preserved and protected. The primary concern for the exterior wood is drainage. Roof overhangs, gutters, and downspouts should be replaced as soon as possible. Furthermore, a pest management plan should be in place as preventive care is the best plan for protecting historic buildings. Termite guards, fumigating, and treating with chemicals may be necessary to ensure the longevity of this building. In locations where the wood has rotted away due to water leaking from drainage, repairing by patching will be necessary. It is important to take care in determining how much wood must be repaired. In general, it is best to remove or replace as little material as possible while still improving the building's appearance and material structure. Repairing or replacing should be with in kind wood. Choosing a suitable material to replace deteriorated wood is especially important on primary or highly visible facades.



## Metals

- Tin
- Aluminum
- Iron

The metals on the exterior of the building are not necessarily important to the historic integrity of the building, but are important to the longevity of the building and its materials. The modern metal roof is already planned to be replaced by the church soon. The most concerning problem with metal materials on the exterior is the corrosion and destruction of gutters and downspouts, as previously noted in the wood section. These gutters and downspouts act as a form of protection in diverting water from the rot-prone wood siding. The most important feature that contributes to the overall historic character is the board and batten wood siding so these materials must be replaced. Proper drainage is required so water does not stand on flat, horizontal surfaces or can accumulate. Replacing in kind with a gutter and downspout system with similar size, scale, material, and color is advised.



## Glass

- Window panes

It is recommended that existing glazing putty that has failed should be removed and new putty should be applied. If the glass pane is broken, the putty should be carefully removed, the pane replaced and reputtied. New glass panes should be installed to replace broken panes which have the same visual characteristics of the historic glass. Modifying a historic single-glazed sash to accommodate insulated glass is an option when it will not jeopardize the soundness of the sash or significantly alter its appearance. For alterations and additions for a new use, impact resistant glazing, when necessary for security, should be compatible with the historic windows and should not damage them or negatively impact their character. If it is desirable to conceal mechanical equipment, compatible window treatments (such as frosted glass, appropriate shades or blinds, or shutters) should retain the historic character of the building. If the entire window unit has failed, replacement of all components should be completed with new materials that improve the performance of the window without noticeably changing the historic appearance. It is optional in this case, for reinstating windows in openings that have been filled in, such as in the West wall of Assembly Hall #2. This decision could provide a unique opportunity for giving visitors a display of the original building's character with its original openings, as viewed from the interior.



## Finishes

- Paint

The primary finish on the exterior of the building is paint. Although further research may be conducted in the future such as cross-sectional microscopy to determine earlier layers of paint, at the moment, the historic colors are unknown. In this case, the primary function of the paint for historic purposes is to protect the wood siding below it. The church has recently had the exterior of the building painted, however, the paint is already chipping, cracking, and breaking. While it is advisable to maintain paint on exterior wood surfaces as a form of water-proofing and ultraviolet light protection, the breaking result alludes to some deeper conditions problems occurring. In the near future, the exterior paint may have to be reapplied. When this is done, the deteriorated or damaged paint should be removed through hand sanding or scraping to best protect the wood. The paint should either match the current color scheme or colors should be chosen appropriate for the late 19th century period of construction. Finally, the chosen paint should encapsulate any potential lead paint present.



### Wood

- Beadboard
- Flooring
- Chair rail
- Paneling- kitchen
- Wainscoting
- Framing- in the ceiling, attic, balcony above
- Ceiling
- Plywood beadboard (old window opening)
- Trim- cornices, picture rail

The primary material used throughout the interior of the Education Building is wood. The original beadboard, wainscoting, trim, and floorboards in the Assembly Halls are a highly visible component of the building's historic integrity and need to be maintained carefully. The walls in the Assembly Halls have been recently painted, which makes assessing the condition of the wood difficult; fortunately, however, they seem to be in good repair. It is recommended that a preservation engineer assess the structural issues identified with the wood materials – particularly the sagging floor and sagging partition wall in the Assembly Halls. To address the sagging floor in Assembly Hall #2; these joists may need to be reinforced by sistering them with pressure-treated lumber. The partition wall may require adding bracing with in-kind wood. Any wood that has suffered water damage should be patched with in-kind wood, taking care to preserve as much original wood as possible. If the wooden feature is too damaged to repair by patching, it should be replaced with in-kind wood and do its best to replicate the original feature. If it is not possible to replace with in-kind wood, a compatible substitute should be selected for its ability to best convey the original appearance. Water damage poses the greatest risk to the Education Building's wooden features, and it will be vital for their survival that water intrusions are addressed and resolved. A pest-management plan, to protect from termite damage, should also be implemented in the building.



## Metal

- Tin - ceiling
- Iron - Hardware- hinges

The pressed-tin ceiling in the Assembly Halls has recently been repainted, and places where the paint is delaminating from the tin indicates that rust was painted over. It is recommended that in places where the paint is failing, that the paint be removed manually so that the corrosion can be treated. Tin is a soft metal, and abrasive treatments like sandblasting or high-water pressure will damage it; instead, gentle cleaning methods like scraping or wire brushing should be employed. After the rust has been treated, the ceiling should be repainted to protect the tin from corrosion. Additionally, any water-intrusion from the roof should be addressed to prevent standing water on the ceiling which could lead to more corrosion. Historic hinges (on several doors in the Assembly Halls) are made of iron, which is a stronger metal than tin. The same gentle treating methods are preferred for iron, but if those prove ineffective, low-pressure abrasive methods can be used sparingly. Historic hardware should either be painted or covered with a protective coating, like lacquer or wax, to protect against corrosion.



## Tile

- Kitchen floor

The kitchen floor is covered with extruded ceramic tiles laid with mortar and grout. Tiles should be cleaned with very gentle methods, like a non-soap-based household floor cleaner. Acid-based cleaners should be used with great caution, as they can damage the tiles, but may be useful in removing stains. Natural-bristle or nylon-brushes should be used to remove stubborn dirt. Damaged tiles should be individually replaced in-kind or with a compatible substitute that best matches the appearance of the original. Prolonged exposure to water should be avoided, since it may loosen the mortar underneath the tile and cause it to fail. If the mortar fails, the tile should be relaid.



## Finishes

- Paint
- Popcorn ceiling
- Drywall
- Laminate flooring- bathrooms
- Wallpaper

Protecting and maintaining historic material includes maintenance such as reapplication of protective coatings, cleansing, removal of previous deteriorated treatments, and using appropriate surface treatments. Removing and repairing deteriorated paint is recommended only where paint can be easily removed and will not cause damage to the historic material. Removal with the most gentle method as well as using compatible paints/coatings should be invested in. Interior finishes should be stabilized where possible and should only be repaired and replaced in a proper manner. Surviving historical finishes should serve as a reference for repaired and replacement finishes. Replacement should only be done in spaces and areas that need it and one area should not be replaced in its entirety. Replacements should always attempt to match in style, material, design, color, scale, and finish. In spaces of additions, replication is important such as moldings and baseboards to create consistent character throughout the building. Installing new material that changes or damages the interior character defining features is not ideal. Removing plaster or finishes, altering historic paint and finishes, should not happen. All character defining finishes such as pressed tin ceilings, bead board, and wainscoting should be retained and not removed if able. Surface treatments should be applied to maintain and protect historic material. Compatible and historically accurate replacements should always be considered when repairing any materials or finishes.



## Mechanical

- HVAC
- Lighting

The main mechanical systems in the building are the lighting and the HVAC unit. It is recommended to maintain and protect functioning mechanical, plumbing, and electric systems through cyclical maintenance to improve the energy efficiency of existing mechanical systems. Repairing is ideal when system components can be augmented and upgraded. Upon conditions assessments, it is noted that much of the deterioration is due to the current HVAC systems. In this case, replacing and installing a new mechanical system that is less invasive and is the least altering to the building's integrity and character-defining features including providing adequate support for mechanical equipment is recommended. The current HVAC system is invasive to the historic integrity of the building. It has caused damage, and disrupted the defining characteristics of the interior of the education building, particularly in the Assembly Halls. Thoughtful and deliberate configuration of central air duct work is crucial to historic buildings, and should be hidden and reconfigured into closets, or spaces that avoid ornamental areas. Drop ceilings that obstruct elements such as transom lights, windows, and doorways should be avoided. Vertical routing such as incasing duct work within walls is ideal in spaces with vaulted ceilings. Ductless split systems are the least architecturally invasive option with low profile window units. There are also passive alternatives to cooling and climate control that should be explored including interior shutters, window treatments, and exterior landscaping around the building to encourage shade.<sup>25</sup> All should again, cause as little distraction and damage to the character of the building as possible.

The lighting system itself is less invasive, causing little to no damage, and obscuring no character defining features. However, where there is physical and documentary/ photographic evidence of previous and surviving fixtures, lighting should be replaced with in-kind substitutes especially when significant to the character defining features. Installing replacement features that do not match the character should be avoided.

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<sup>25</sup> Alderson, Caroline. n.d. *Hvac Upgrades in Historic Buildings*.





## Conclusion

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The Education Building at St. John’s Reformed Episcopal Church is a testament of both the church’s history and the historic character of Ansonborough, as it served the Irish Catholic immigrants who once populated this area and used this church to both worship and educate their children in the historic school-house. As such, treatment and renovation efforts should be mindful of the historic building fabric of the building. To summarize, we recommend rehabilitating the Education Building. Rehabilitation ensures a comparable and appropriate reuse of a building, while maintaining and preserving materials, features, or craftsmanship that is reflective of the building’s historical, cultural, or architectural values. Additionally, we recommend treatments to prioritize any current water intrusion, as conditions, both interior and exterior, will continue to worsen, if not adequately addressed sooner, rather than later.

Furthermore, we would like to reiterate our gratitude to both the congregation of St. John’s and HCF’s Saving Grace Initiative, as this opportunity would not be possible without their continued support. Again, we would like to extend our final thanks in allowing us access to this site and to build upon previous preservation efforts of Clemson’s Class of 2026 report in the fall of 2024. We hope this report can not only help uncover the history of the church and the school-house, but to also help ensure its historical and cultural significance to be preserved for generations to come.

The Education Building is a contributing factor to the significance of St. John’s Reformed Episcopal Church. Despite threats of gentrification, the congregation and its buildings are examples of resilience and perseverance to maintain their cultural and historic significance, despite a modern change in the buildings and environments surrounding it. We are grateful to have been allowed to contribute to its continued rehabilitation and are confident it will remain a representation of both the church’s and Ansonborough’s historic character, despite modern pressures around it.

## Appendix A: Newspapers

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A school will also be established in St. Joseph's parish under the supervision of the Rev. F. J. Shadler. The building has been erected on Anson street, next south of the parochial residence, and the school will probably be opened some time during the month of February.

All the parish schools are intended for male pupils exclusively. St. Mary's School, for girls, under the direction of the Sisters of Mercy, was formerly located in the German Catholic church in Society street, but the building was so badly damaged by the earthquake, and the school has been removed to the large building in George street formerly occupied by the Central Catholic School. This is a large building and will accommodate a much larger number of pupils. It is a free school and is intended for the young girls of the entire city.

Figure 1. *Charleston News and Courier*, January 25, 1887. *Newsbank.com*.<sup>26</sup>

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<sup>26</sup> *Charleston News and Courier* (Charleston, South Carolina), January 25, 1887. *NewsBank: Access World News- Historical and Current*. <https://infoweb-newsbank.com.ccpl.dm.odc.org/apps/news/document-view?p=WORLDNEWS&docref=image/v2%3A13CCA871AD118D5A%40EANX-141BBD67F14FA11E%4024102410297-141ABEE901A6EF75%407-141BEE901A6EF75%40>.

public squares.  
The new school-house in St. Joseph's Parish promises to be a handsome building. It will be surmounted by a neat little tower.  
Mr. T. G. Main has been appointed assistant ticket agent for the Atlantic Coast Line of the

Figure 2. *Charleston News and Courier*, February 4, 1887, 8. *Newsbank.com*.<sup>27</sup>

<sup>27</sup> *Charleston News and Courier* (Charleston, South Carolina), February 4, 1887: 8. *NewsBank: Access World News- Historical and Current*.  
<https://infoweb-newsbank-com.ccpl.idm.odc.org/apps/news/document-view?p=WORLDNEWS&docref=image/v2%3A13CCA871AD118D5A%40EANX-141BBD75713D6A01%402410307-141ABEE979DAE7C2%407-141ABEE979DAE7C2%40>.

900 years, and so it had been another world. We are the continuation of a prelate taken missioned as was St. Francis in the nineteenth century ago there came also of the Fisherman's mission as read from the have not forgotten and sanctity of life in this Diocese by those who are of the are not of it can be carried out that the zeal and cloistered the early same way, was the used faithfully and by Bishop Reynolds twenty-four years since a little over a on to mourn and be soon forgotten. is taken up by one since boyhood—one who will continue on with the same and with the same that they may be earnestly pray amongst us, that many him and that with glory. non the Mass was e, and the Pontifical e delivered, the menced to play the amonages the end Bishop Northrop ongregation, spake's Address. at I have been in- the end of the ser- even though it be ceremony, from at d at the end of the to detain you and cannot resist say- ay which sees me Charleston. The go wherever he is ceived the order did of old, to go and from my me, which was as au's home is to rhaps, for a priest y dear brethren I d now I say, God all of gratitude to tom my lowliness by though I am, ingdom. He has ght me back again full of gratitude I nd circumstance y, my brethren, if ry wherein my ou cannot recog- though it be the is of Jacob. I be Grace of God e Holy See. By ks in wondrous am your new and your old ser- r brethren, even know has chosen ak things of this the strong and to h a work which po easy burden. confident in my strengthen. Con- dition I know- nd fidelity and th my brothers, d the most un- at the head of nd who is con- ust to you, my lah of my own, r Bishop, and and day render

an account to him. As low as He gives me life I will try to be in all things a Bishop; though not so greatly gifted as those great men who have preceded me, yet I hope with God's greatness and your prayers and your help, my dear brethren and children in Christ, that I will at least with the one talent I possess, with all the strength of body and soul that God has given me, work for this Diocese as our Holy Father exhorts me to do—prudently and cheerfully. May this action of the Holy See, strange as it seems—grateful as it is to me—be an act to the greater glory of God—to the salvation of many souls, and to my greater glory and the salvation of my own soul in heaven. God bless you, my dear children, and may you pray for your Bishop that he may do his work faithfully and well.

**The Music.**  
The music of the Mass was rendered by a double quartette under the direction of Madame Barbet and consisted of the following:  
1. Te Deum (Torus).....Bordeal  
2. Laudate Dominum.....Millard  
3. Kyrie.....La Hache  
4. Veni Creator (quartette).....Warren  
5. Credo.....Mercadante  
6. Sanctus (solo).....Mercadante  
7. Selections from the Stabat Mater (solo).....Rossini  
8. Agnus Dei.....Mercadante

**Visiting Clergymen.**  
The following is a list of the visiting clergymen who were present on the occasion:  
Bishop Gross, of Savannah; Bishop Moore, of St. Augustine; Bishop Tuigg, of Pittsburg, Pa.; Father O'Shannahan, S. J., of Augusta; Father Quinlan, of Augusta; Dr. Sommes, of Pio Nono College, Macon; Father Fallerton, of Columbia; Dr. Merrweather, of Yale Crucis Convent; Father Wilson, of Aiken; Father Monaghan, of Greenville; Father Gore, of Beaufort; Father Wright, of North Carolina; Father Schachte, of Moultrieville, and Father McNeill, of Sumter.

Last evening Pontifical Vespers were celebrated at the Cathedral Chapel in the presence of a very large congregation. Bishop Gross, of Savannah, preached a strikingly interesting sermon on the subject of Women's position in the Church as illustrated and typified by the place occupied by the Virgin Mary in Catholic theology.

**DECEMBER 17, 1883.  
SUNDAY IN THE CITY.**

**REDEDICATION OF ST. JOSEPH'S CATHOLIC CHURCH.**

**An Impressive Ceremony—Three Bishops Present Besides a Number of other Clergymen—The Interest of the Services Enhanced by Fine Music, Vocal and Instrumental.**

The rededication of St. Joseph's Church in Anson street took place yesterday morning with all the solemn and impressive ceremonies of the Catholic Church. The dedication services consisted of a procession of the clergy, headed by the Cross-bearer and acolytes, which marched out of the sacristy to the front of the church building. Here a halt was made, when the Right Rev. Bishop Moore of St. Augustine, the consecrating bishop, recited a prayer. The procession was then continued around the church, chanting the *Miserere*, while Bishop Moore sprinkled the walls with holy water. When the procession had made the circuit and returned to the front of the church, after another prayer, the *Te Deum* and the *Litany of the Saints* was intoned by the Rev. Father Wayrich and the Rev. A. Lammel of New York Cathedral. This was begun whilst the procession was entering the church and was completed in the Sanctuary. The procession then returned and passed again through the

church, the Bishop blessing the walls of the building. The procession then returned to the church, where another prayer was recited, which terminated the ceremony of dedication. After the ceremony returned to the sacristy, and then entered the church for the Pontifical High Mass, which was celebrated by the Right Rev. Bishop Northrop, of Charleston. The honorary deacons of the Mass were the Rev. A. Golsen and the Rev. J. Wedenello, the deacon of the Mass, the Rev. A. Lammel, the sub-deacon, the Rev. F. Smith and the master of ceremonies, the Rev. J. J. Monaghan. After the Gospel the Rt. Rev. Bishop Gross, of Savannah, delivered a grand sermon on the prophetic character of Christ, showing how in the Catholic Church His prophecies were fulfilled. The sermon was a splendid effort, and was delivered with rare power and eloquence.

Throughout the services surpassed description. The excellent choir of St. Joseph's Church was generously aided by representatives from nearly all the churches in the city, and the music throughout was superbly rendered. By special invitation Mrs. A. Fritschel presided with a master's touch at the organ. The *Ave Maria*, sung at the Offertory by Miss O'Connor, the *Gloria*, sung after the elevation of the Host, by Misses Melchers, and the *Agnus Dei*, sung by Miss Moran, the accomplished organist of St. Joseph's, were all rendered with exquisite taste. The *Veni Creator* was also charmingly sung by a trio of excellent voices, and the whole music was most correctly executed.

In the evening the Pontifical Vespers were celebrated by the Rt. Rev. Bishop Moore, of St. Augustine, assisted by the Rev. A. Lammel as deacon, the Rev. J. Wedenello as sub-deacon, and under the direction of the Rev. J. J. Monaghan. After the *Magnificat* the Rev. Wm. Wayrich, S. S. R., of New York, delivered an eloquent and forcible sermon on the subject, showing how Christ came upon earth, not only to redeem, but also to reform mankind. This was to be done by education in the family, and first establishing the indissolubility of the marriage tie. Hence the Church which was instituted by Christ never recognizes any divorce, and the family, being the foundation of society, should not be dissolved. But as the family could not always accomplish the work of reforming mankind, it had found what was necessary in the church which had established schools and colleges and institutes for training the minds and regulating the conduct of the children of the family. The State, after the Reformation, had usurped the right belonging to the family. The main idea in this sermon was that the Church was responsible for the educational training of its children, and that the education so obtained was in harmony with the purpose and the mission of Christ. The sermon was a fine effort and was heard with the closest attention.

The music at the evening services was fully equal to that given in the morning. The services throughout were deeply impressive.

**The Reconstruction of St. Joseph's.**  
The alterations and modifications of St. Joseph's Church, made during the summer and fall months under the skillful direction of Mr. John W. Sawyer, have been so extensive and radical that the congregation did not recognize their church yesterday. On the interior it has become an entirely new structure, nothing remaining of the old building but the two side walls and the front. The style of the original building is the Gothic, namely cruciform, with low walls and a high pointed roof, with an apse or chancel running out from the transept. Instead, however, of the vaulted ceiling called for by the style the builders had put a flat ceiling a few feet above the walls, in utter want of harmony with the order of the building, and producing an uncomfortable and depressing effect on the beholder.

Father Shadler, soon after taking charge of the church, about three years ago, determined to remove this blemish and make of the building a really ecclesiastical structure. To aid him in his object he was fortunate in having the assistance of his friend Mr. F. J. Himpel of New York, who had the honor given him of a beautiful design and plan so admirably carried out by Mr. Sawyer. Mr. Himpel's design for a grand and noble temple in an arcaded city on the West, notable among the architects of St. Francis in Cincinnati, the church of Our Lady of Grace, Hoboken, N. J., and the Church of St. Alphonsus in South Fifth Avenue, New York. For purity of style and careful attention to details, these churches are not excelled by any in this country. What he has furnished for St. Joseph's Church will add to his former fame, and will be an object of pride not only for the parishioners, but for the entire city. For the direction of the work, Father Shadler and the pastor strove to make it a church perfect in every particular.

Weston, St. Joseph (Anson Street) Newspaper Clippings, 1883-1911 2009.02-01-06

Figure 3. (Charleston, SC), December 17, 1883. Roman Catholic Diocese of Charleston.

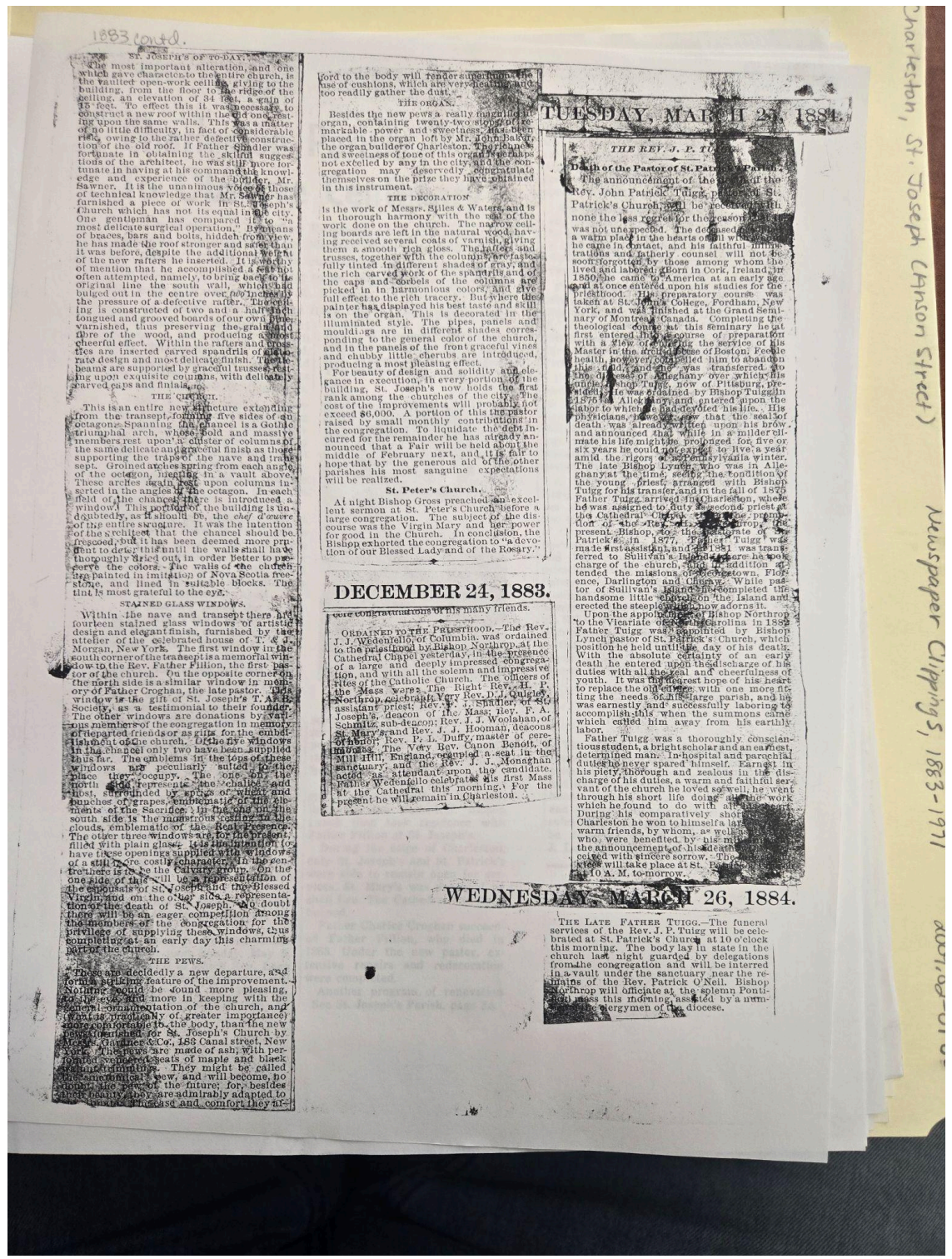


Figure 4. (Charleston, SC), December 24, 1883. Roman Catholic Diocese of Charleston.

## *St. Joseph's Parent-Teachers*

Quite a large attendance was present at the meeting yesterday afternoon of the Parent-Teacher Association of St. Joseph's School. The members decided to hold a rummage sale in the near future for the benefit of the association and voted to add two sliding boards to the playground equipment.

Figure 5. *Charleston News and Courier*, February 21, 1924, 5. *Newsbank.com*.<sup>28</sup>

<sup>28</sup> *Charleston News and Courier* (Charleston, South Carolina), February 21, 1924: 5. *Newsbank*,

<https://infoweb-newsbank-com.ccpl.idm.oclc.org/apps/news/document-view?p=WORLDNEWS&docref=image/v2%3A13CCA871AD118D5A%40EANX-15C1A95561DCFD05%402423837-15C1A7145E3D6393%404-15C1A7145E3D6393%40>.

CHRISTMAS ENTERTAINMENT

On Tuesday, December 23, the St. Joseph School held its annual Christmas entertainment.

The assembly hall was festive in its beautiful decorations of smilax holly and evergreens. Close to the chimney stood a stately Christmas tree, picture of loveliness in its rich and dainty decorations and its myriad of brightly colored electric lights.

The pupils of the school in the several numbers of the program reflected credit upon their teachers, the Sisters of Our Lady of Mercy.

Immediately before the closing chorus, the jolly faced Santa, via a fine chimney, entered the assembly hall. The delight of the little ones was evident in the unrestrained acclamations of mingled surprise and joy. Santa was indeed most generous, but he showed his preference for the smaller pupils of the school, for the children of the primary grade held the first place upon his roll of honor.

Each child of the school from the smallest on through the grades received gifts, candy and fruit from this generous Santa. But the gifts bestowed at the school did not exhaust Santa's wealth, for he promised to call later at the home of each child.

The Rev. N. A. Murphy, pastor of St. Joseph's Church in a few well chosen words congratulated the children upon their good fortune, not only of this day in the visit of Santa, but in the continued and daily blessings which were ever theirs.

The following is the program:  
Opening chorus: "The Angela Song in the Silent Night." Piano, Miss Julia Dothage, the accompanist of the entire program.

Recitation, "Little Harry's Letter," by the boys of the 5th and 6th grades.

Chorus, "Holy Night! Silent Night," by the School.

Recitation, "Christmas Eve," by the girls of the 5th and 6th Grades.

Chorus "Adeste Fideles," by the school.

Distribution of gifts by Santa Claus

Closing Chorus, "Praise Ye The Father," by the school.

Address by the Pastor, Rev. N. A. Murphy.

Figure 6. *Evening Post*, December 26, 1924, 12. *Newsbank.com*.<sup>29</sup>

<sup>29</sup> *Evening Post* (Charleston, South Carolina), December 26, 1924: 12. *Newsbank*,

<https://infoweb-newsbank-com.ccpl.idm.oclc.org/apps/news/document-view?p=WORLDNEWS&docref=image/v2%3A13E3762B9393175B%40EANX-145EA8C338A95F51%402424146-145BFC9564B4ADEF%4011-145BFC9564B4ADEF%40;>

## Charleston Parish To Observe Centenary

Bayer  
4/30/1

Charleston — The Most Reverend Paul J. Hallinan will celebrate Pontifical Mass on Monday, May 1, at 6:30 p.m. in St. Joseph's Church here, in observance of the Centenary of the historic parish, according to an announcement by Father St. John E. Patat, pastor of St. Joseph's.

St. Joseph's parish dates from May 5, 1861, only a short time after the shelling of Fort Sumter at the outset of the Civil War. The church was dedicated, by Bishop Patrick N. Lynch, and the speaker for the ceremonies was Rev. Jeremiah W. Cummings.

About the same time in Charleston, another church was preparing for dedication and a friendly rivalry arose. St. Paul's, on Society Street just east of Meeting Street was a church for Catholics of German extraction, and the sermon and instructions were to be in German.

St. Paul's was scheduled for dedication in April of 1861, but a small fire delayed the dedication until the Sunday after St. Joseph's. It was closed shortly after, when its pastor was sent as a chaplain with the Confederate Army.

St. Joseph's joined the ranks of St. Mary's the Cathedral, and St. Patrick's, in the city of Charleston. Father Richard C. Madden, historian of the diocese, states that credit for the establishment of St. Joseph's parish goes to Father Patrick Ryan, then the assistant at St. Mary's Church in Hassell Street.

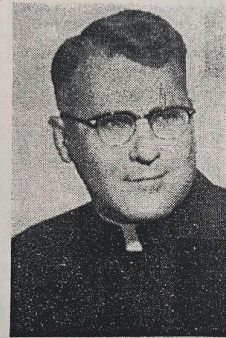
Even at the dedication of St. Joseph's, the church of the Irish, many of the parishioners were preparing to go off to war with the Irish Volunteers to fight at Bull Run.

In December of 1861, fire destroyed nearly half of the city, including the Cathedral. Bishop Lynch then took residence with Father Fillion at St. Joseph's.

During the siege of Charleston, only St. Joseph's and St. Patrick's were able to remain open for services. St. Mary's was damaged by shell fire. The Cathedral had been burned.

Another program of renovation See St. Joseph's Parish, page 3A

Rev. J. W. Cummings, D.D. Choir will be conducted by Mr. T. Caulfield, organist of the Cathedral. The services will begin at 10 a.m.



Father Patat

Even at the dedication of St. Joseph's, the church of the Irish, many of the parishioners were preparing to go off to war with the Irish Volunteers to fight at Bull Run.

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During the siege of Charleston, only St. Joseph's and St. Patrick's were able to remain open for services. St. Mary's was damaged by shell fire. The Cathedral had been burned.

Father Charles Croghan succeeded Father Fillion, who died in 1865. Under the new pastor, extensive repairs and redecoration were completed.

Another program of renovation See St. Joseph's Parish, page 3A

was completed in 1883 under Father Francis Shaddler, who succeeded Father Croghan in 1880. Also under Father Shaddler, St. Joseph's parochial school was opened in 1887.

Father Shaddler was succeeded, following his death in 1892, by Father John J. Weddenfeller, a native of Columbia. Father Andrew K. Gwyn assisted the Pastor, who was in ill health.

Father Weddenfeller died in 1899 and was succeeded by the distinguished Rev. Dr. P. C. Duffy, V. G., who was pastor of the parish until 1919. Father J. W. Carmody succeeded in 1920 and Father Dennis Lannigan in 1921.

Father Nicholas Murphy was pastor from 1922 to 1925, and was succeeded by Father Cornelius A. Kennedy, who retired in 1939. In that year, Father Alexis Westbury was named pastor and he was succeeded in 1951 by the present pastor, Father St. John E. Patat.

A native of Charleston, born April 17, 1912, Father Patat is the son of Mrs. Leon P. Patat, Sr. and the late Mr. Patat. A graduate of Charleston High School, he attended the College of Charleston, and began his studies for the priesthood at St. Charles' College, Catonsville, Md. He completed his seminary training at St. Mary's Seminary, Baltimore, and earned his S.T.B. degree and M.A. degree in history there. He was ordained at the Cathedral of St. John the Baptist on May 24, 1942, by Bishop Emmet M. Walsh.

The officers of the Mass of tomorrow will be Father Patat, archpriest, Fathers Charles L. Sheedy and Richard C. Madden, deacons of honor, Fathers John A. Simonin and Jerome C. Powers, deacon and subdeacon and the sermon will be delivered by Rt. Rev. Msgr. J. Lawrence McLaughlin.

Charleston, St. Joseph (Anson Street)

Newspaper Clippings, 1853-1971

2009.02-01-06

Figure 7. (Charleston, SC), 1961. Roman Catholic Diocese of Charleston.



Figure 8. (Charleston, SC), 1965. Roman Catholic Diocese of Charleston.

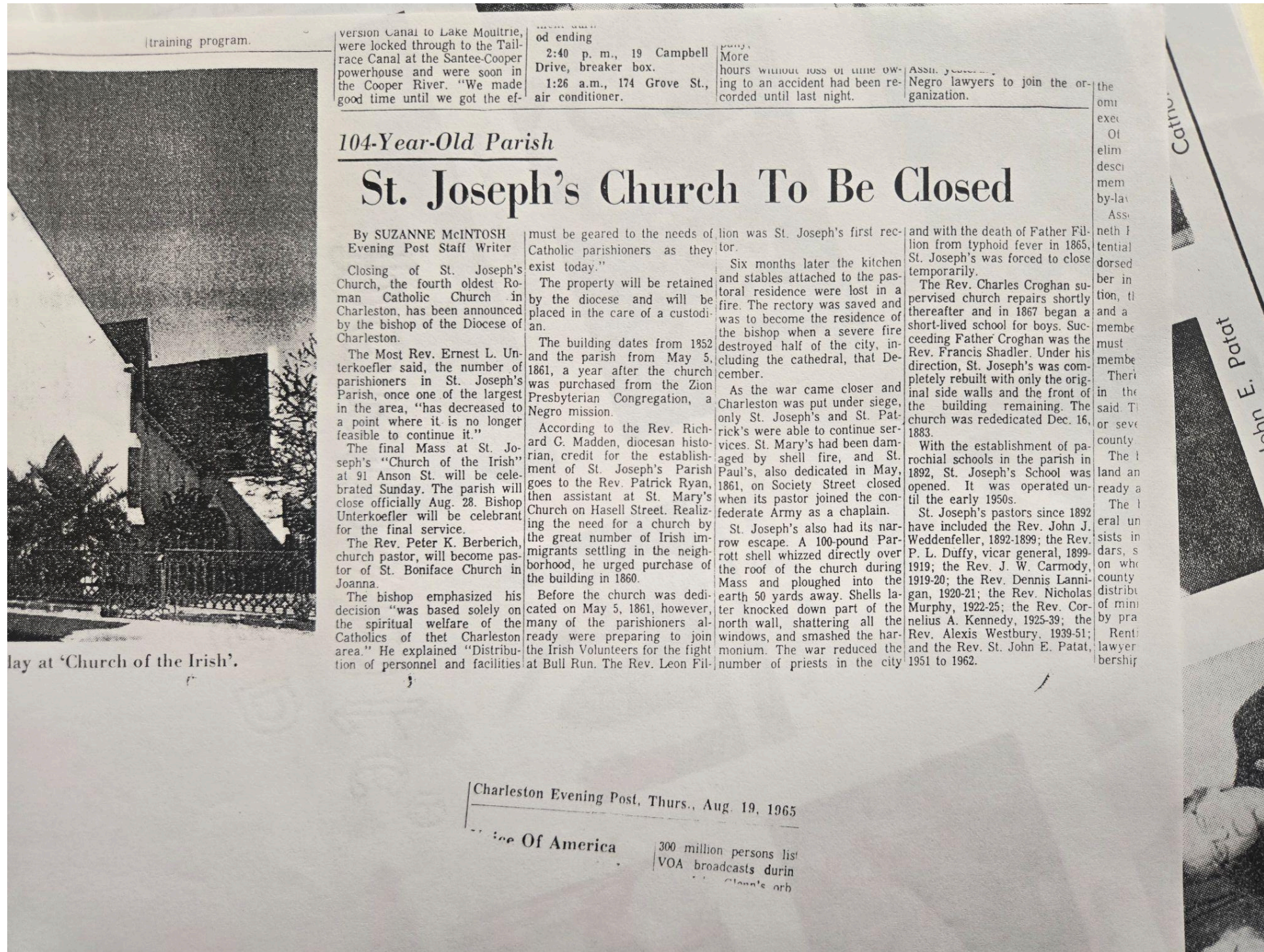
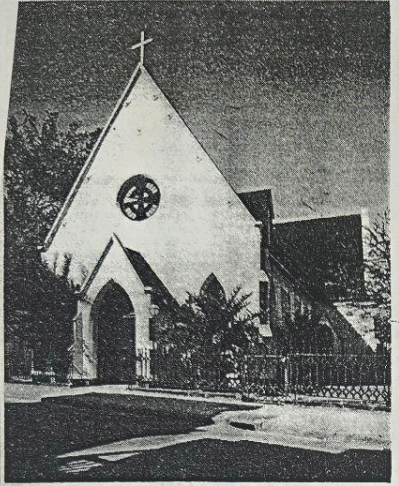


Figure 9: Charleston Evening Post (Charleston, SC), August 19, 1965. Roman Catholic Diocese of Charleston.



St. Joseph's Church

### St. Joseph's Church Charleston, To Close

Charleston — Bishop Ernest L. Unterkoefler has announced with reluctance the closing of St. Joseph's Church here. Once one of the largest Catholic parishes in the area, in recent years the number of parishioners has decreased to the point where it is no longer feasible to continue it.

Bishop Unterkoefler emphasizes that his decision was based solely on the spiritual welfare of the Catholics in the Charleston area. The distribution of personnel and facilities must be geared to the needs of Catholic parishioners as they exist today. For the present the property will be retained and it will be placed in the care of a custodian who will live on the grounds.

Bishop Unterkoefler celebrated the parish Mass at St. Joseph's on August 22 at 11:00 a.m. The St. Joseph's choir sang Mozart's 12th Mass on the occasion.

**History**  
St. Joseph's parish dates from May 5, 1861, only a short time after the shelling of Fort Sumter at the outset of the Civil War. The church was dedicated by Bishop Patrick N. Lynch, and the speaker for the ceremonies was Rev. Jeremiah W. Cummings.

About the same time in Charleston, another church was preparing for dedication and a friendly rivalry arose. St. Paul's on Society Street, just east of Meeting Street, was a church for Catholics of German extraction, and the sermon and instructions were to be in German.

St. Paul's was scheduled for dedication in April of 1861, but a small fire delayed the dedication. It was closed shortly after, when its pastor was sent as a chaplain with the Confederate Army.

St. Joseph's joined the ranks of St. Mary's, the Cathedral and St. Patrick's, in the city of Charleston, Father Richard C. Madden, historian of the diocese, states that credit for the establishment of St. Joseph's parish goes to Father Patrick Ryan, then the assistant at St. Mary's Church in Hasell Street.

Father Ryan realized the growing number of Irish immigrants who settled in the "borough" and were in need of a church in that area. About this time, a church in Anson Street that had been used by the Zion Presbyterian Congregation, a Negro mission, was up for auction, and Father Ryan urged Bishop Lynch to bid on it. It was obtained in March of 1860. Father Leon Fillion was named pastor of the new parish.

The following account appeared in The Charleston Mercury on April 29, 1861:  
"St. Joseph's Church, Anson Street, on next Sunday, May 5. This church to which Rev. Leon Fillion has been appointed will be dedicated by Rt. Rev. Bp. Lynch. Dedication sermon by Rev. J. W. Cummings, D.D. Choir will be conducted by Mr. T. Cauldfield, organist of the Cathedral. The services will begin at 10 a.m."

**Dedication**  
Even at the dedication of St. Joseph's, the church of the Irish, many of the parishioners were preparing to go off to war with the Irish Volunteers to fight at Bull Run.

In December of 1861, fire destroyed nearly half of the city; in See St. Joseph's, page 2 News

### St. Joseph's

Continued from page 1  
cluding the Cathedral, Bishop Lynch then took residence with Father Fillion at St. Joseph's.

During the siege of Charleston, only St. Joseph's and St. Patrick's were able to remain open for services. St. Mary's was damaged by shell fire. The Cathedral had been burned.

Father Charles Croghan succeeded Father Fillion, who died in 1863. Under the new pastor, extensive repairs and redecoration were completed.

Another program of renovation was completed in 1883 under Father Francis Shaddler, who succeeded Father Croghan in 1880. Also under Father Shaddler, St. Joseph's parochial school was opened in 1887.

Father Shaddler was succeeded, following his death in 1892, by Father John J. Weddenfeller, a native of Columbia. Father Andrew K. Gwyn assisted the Pastor, who was in ill health.

Father Weddenfeller died in 1899 and was succeeded by the distinguished Rev. Dr. P. L. Duffy, V.G., who was pastor of the parish until 1919. Father J. W. Carmody succeeded in 1920 and Father Dennis Lannigan in 1921.

Father Nicholas Murphy was pastor from 1922 to 1925, and was succeeded by Father Cornelius A. Kennedy, who retired in 1939. In that year, Father Alexis Westbury was named pastor and he was succeeded in 1951 by Father St. John E. Faial.

Rev. Peter K. Berberich was named pastor in 1962. He was recently named pastor of St. Boniface Church, Joanna.

iston, St. Joseph (Anson Street)

Newspaper Clippings, 1883-1971

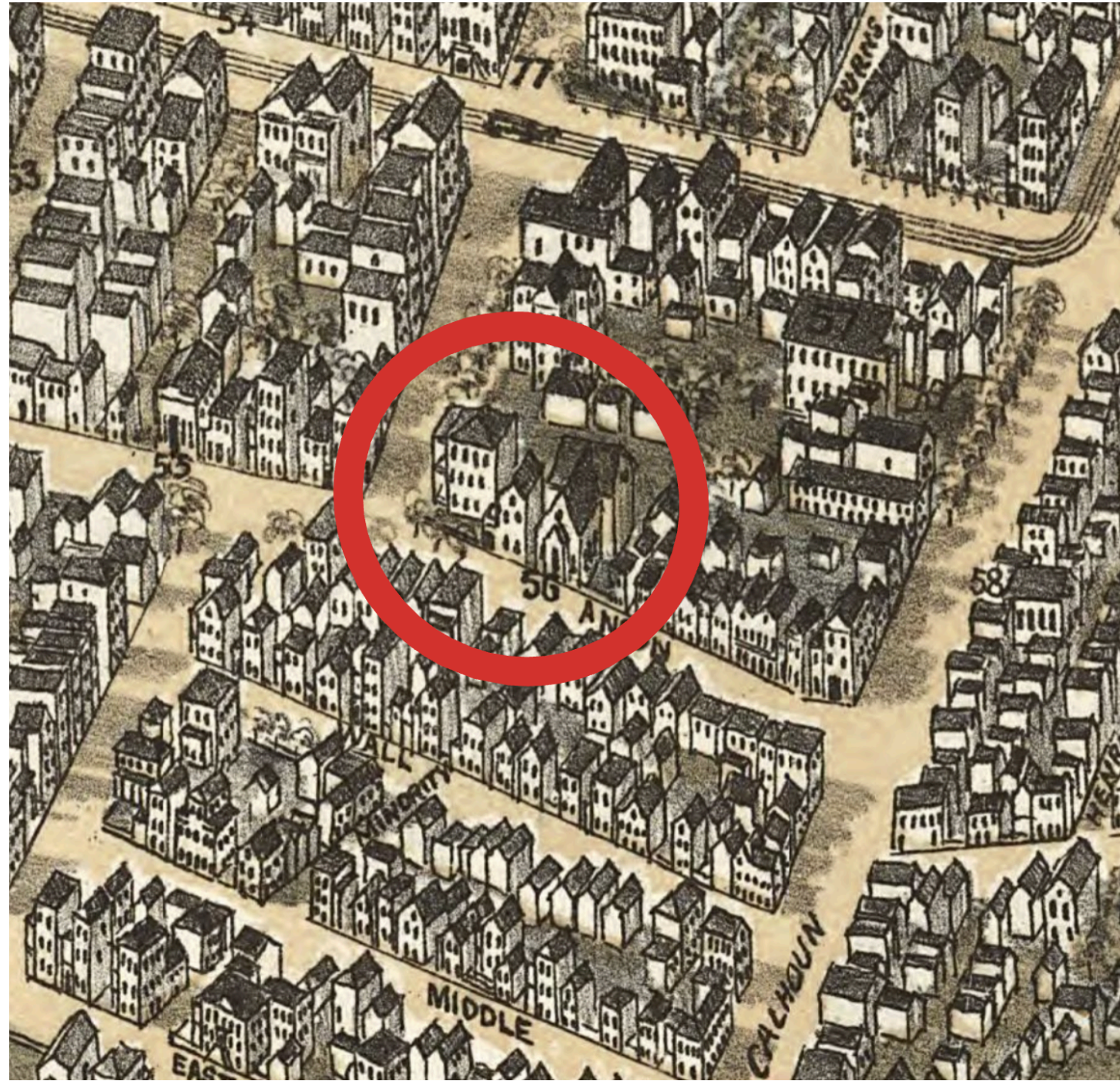
2009.02-01-06

Figure 10. (Charleston, SC), August 29th, 1965:18. Roman Catholic Diocese of Charleston.

# Appendix B: Maps



Figure 1. 1872 Bird's Eye View of the City of Charleston.



**Figure 2.** 1872 *Bird's Eye View of the City of Charleston*. The location of present-day 91 Anson Street (before the construction of the Education Building) is circled.

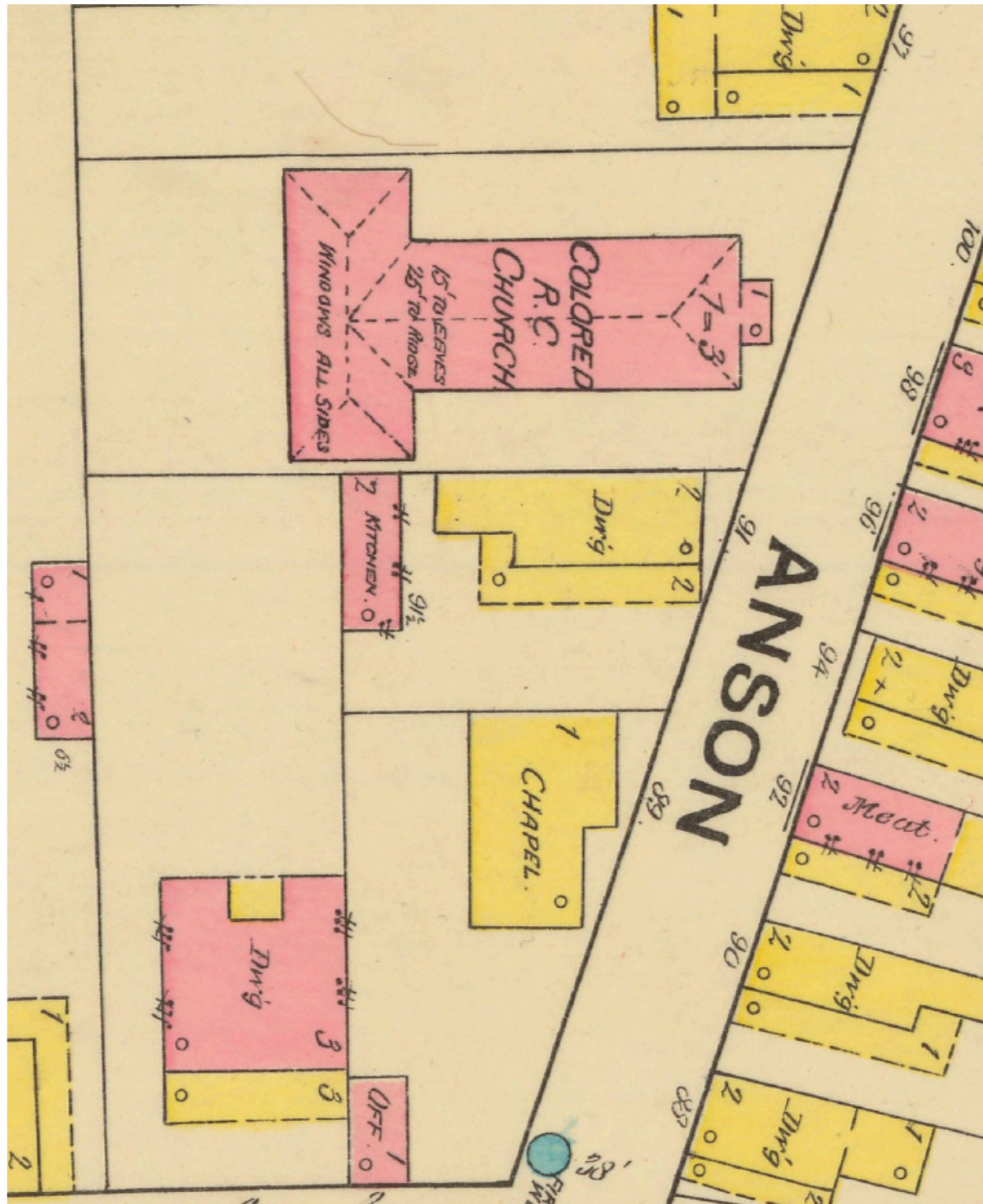


Figure 3. 1888 Sanborn Map; apse added in 1883. The school is labeled as a chapel in this map.

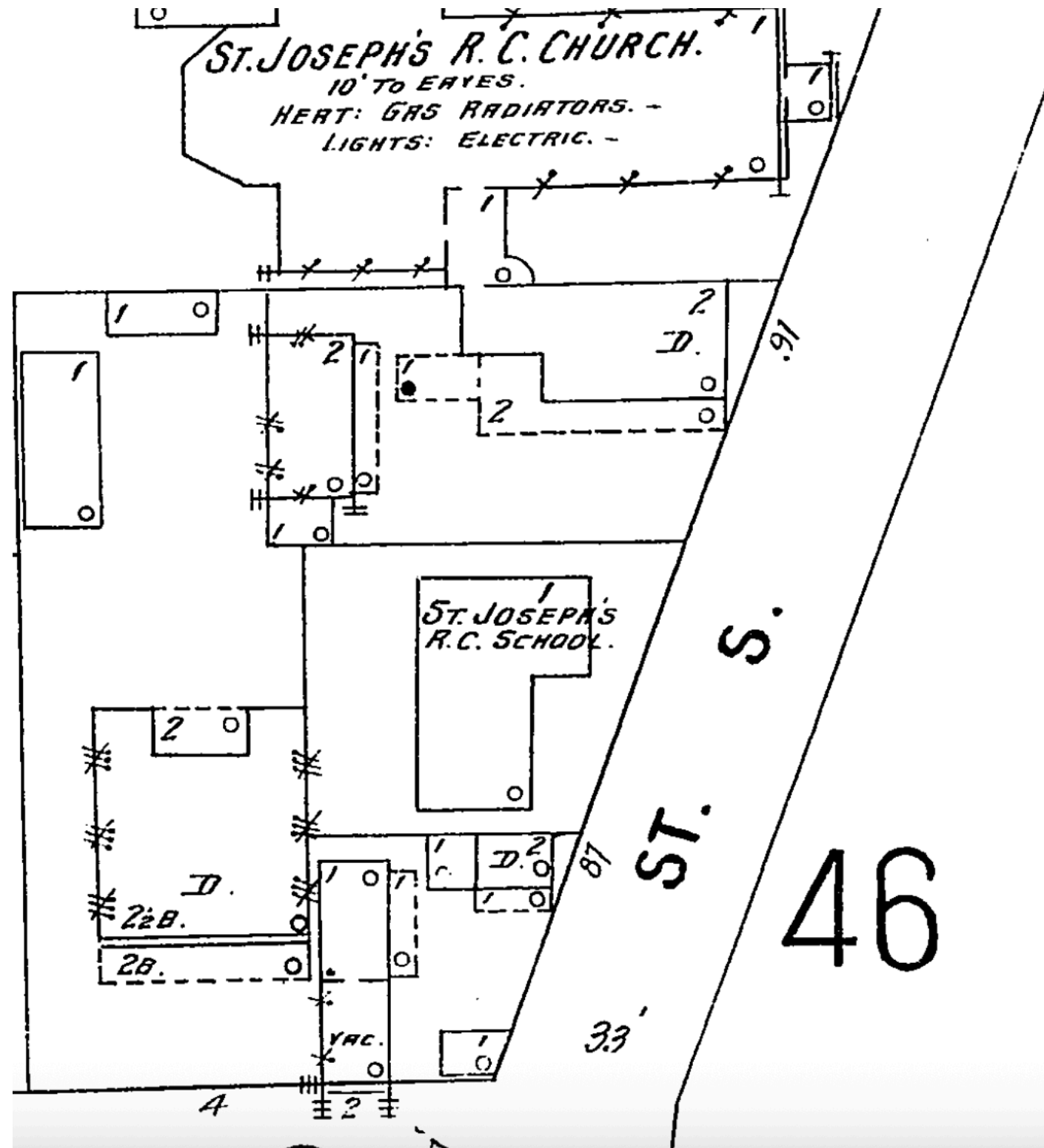


Figure 4. 1902 Sanborn Map. Labeled as St. Joseph's R.C. School.

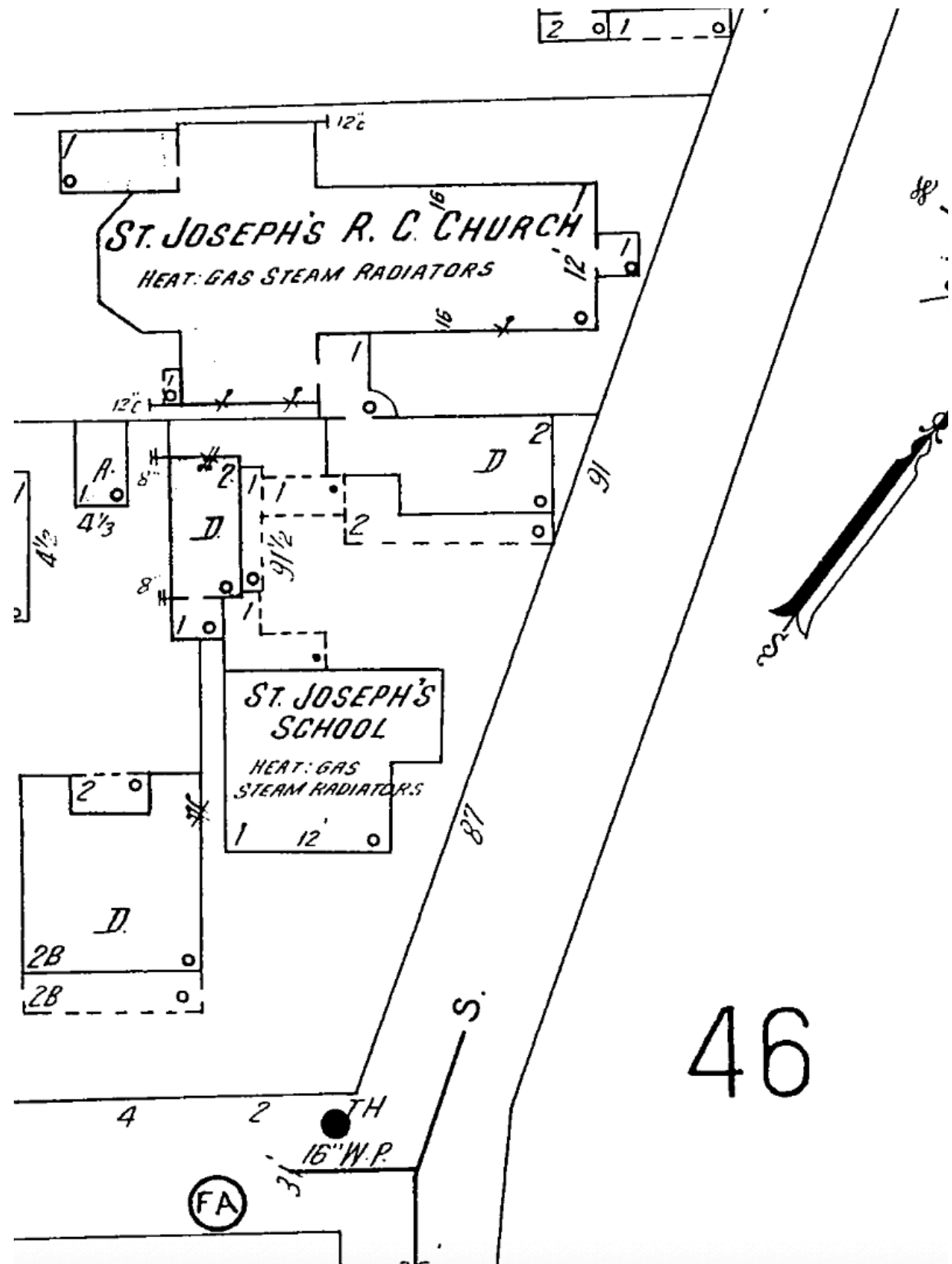


Figure 5. 1944 Sanborn Map. The rear addition (containing what is now the hallway, kitchen, mudroom, bathrooms, and storage room) was built sometime between 1902 and 1944.

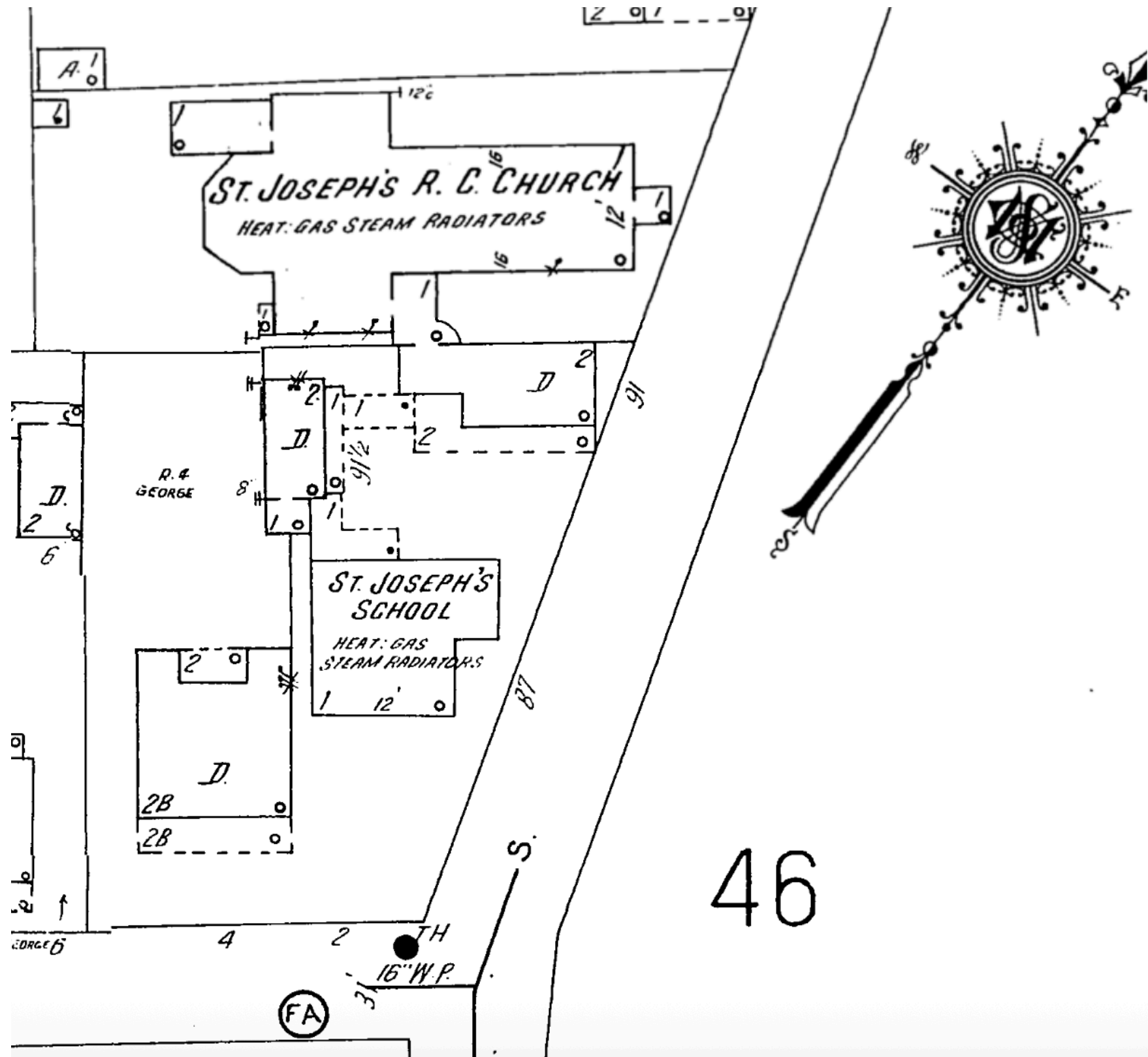


Figure 6. 1951 Sanborn Map.

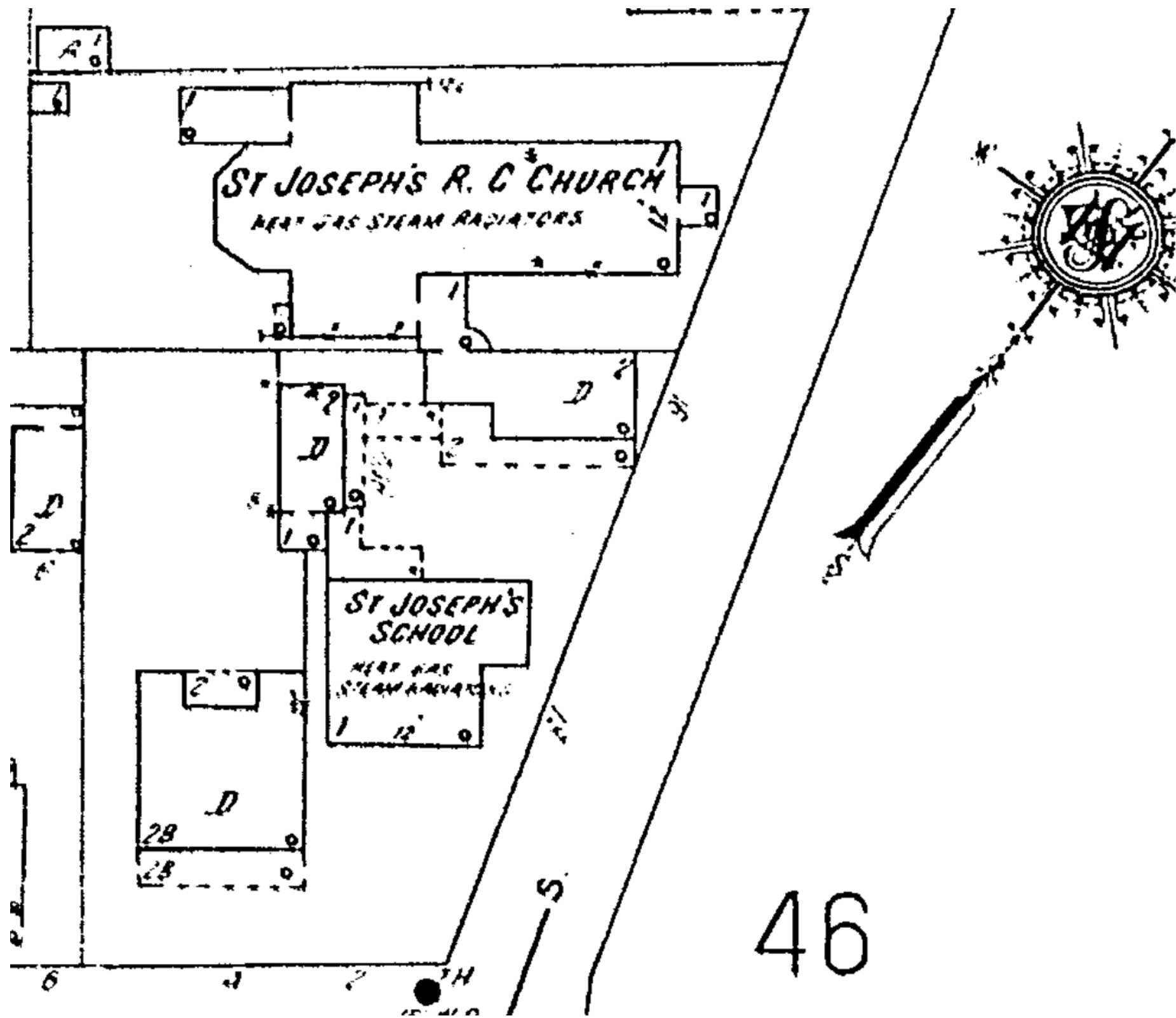


Figure 7. 1955 Sanborn Map.

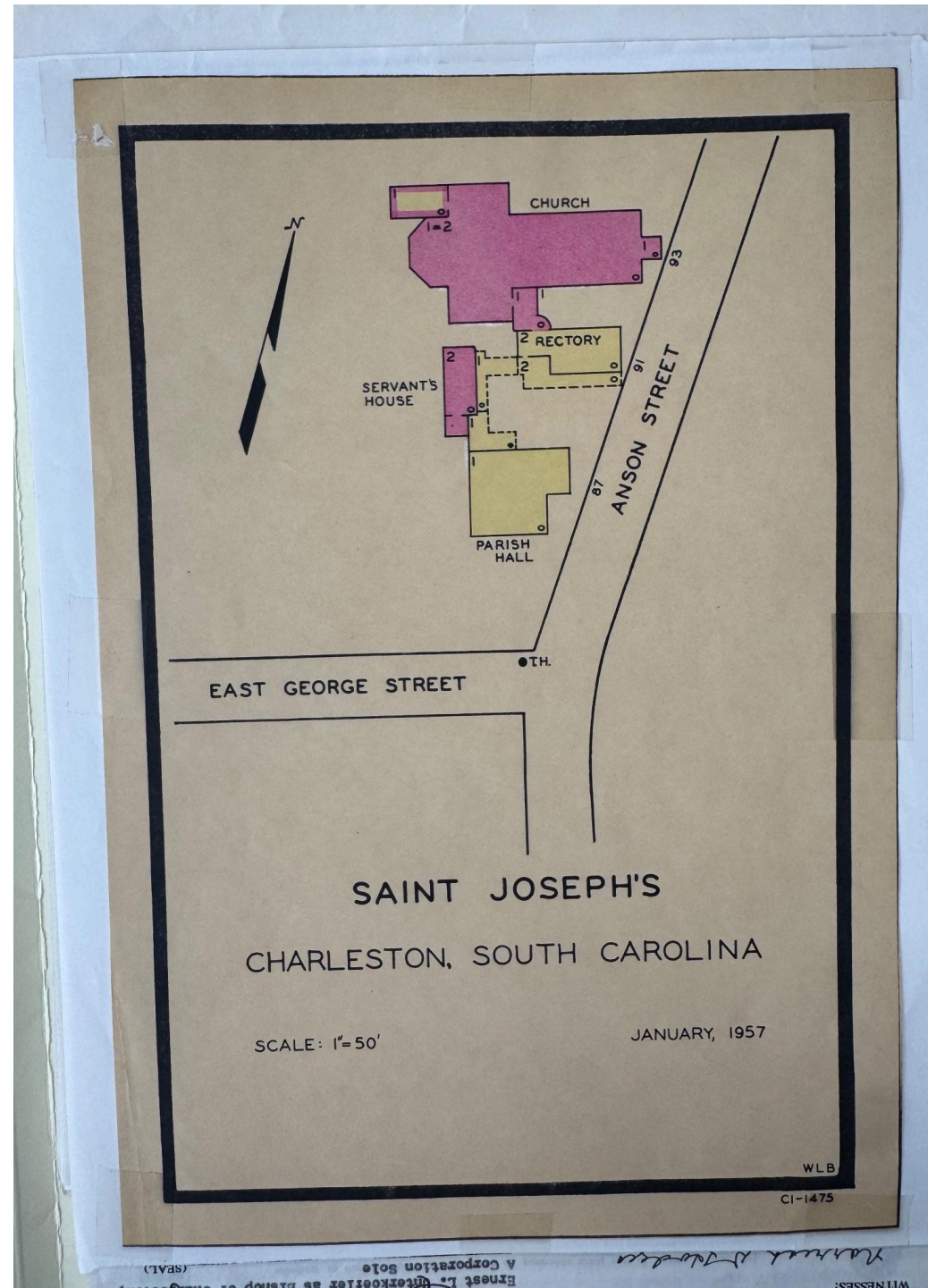
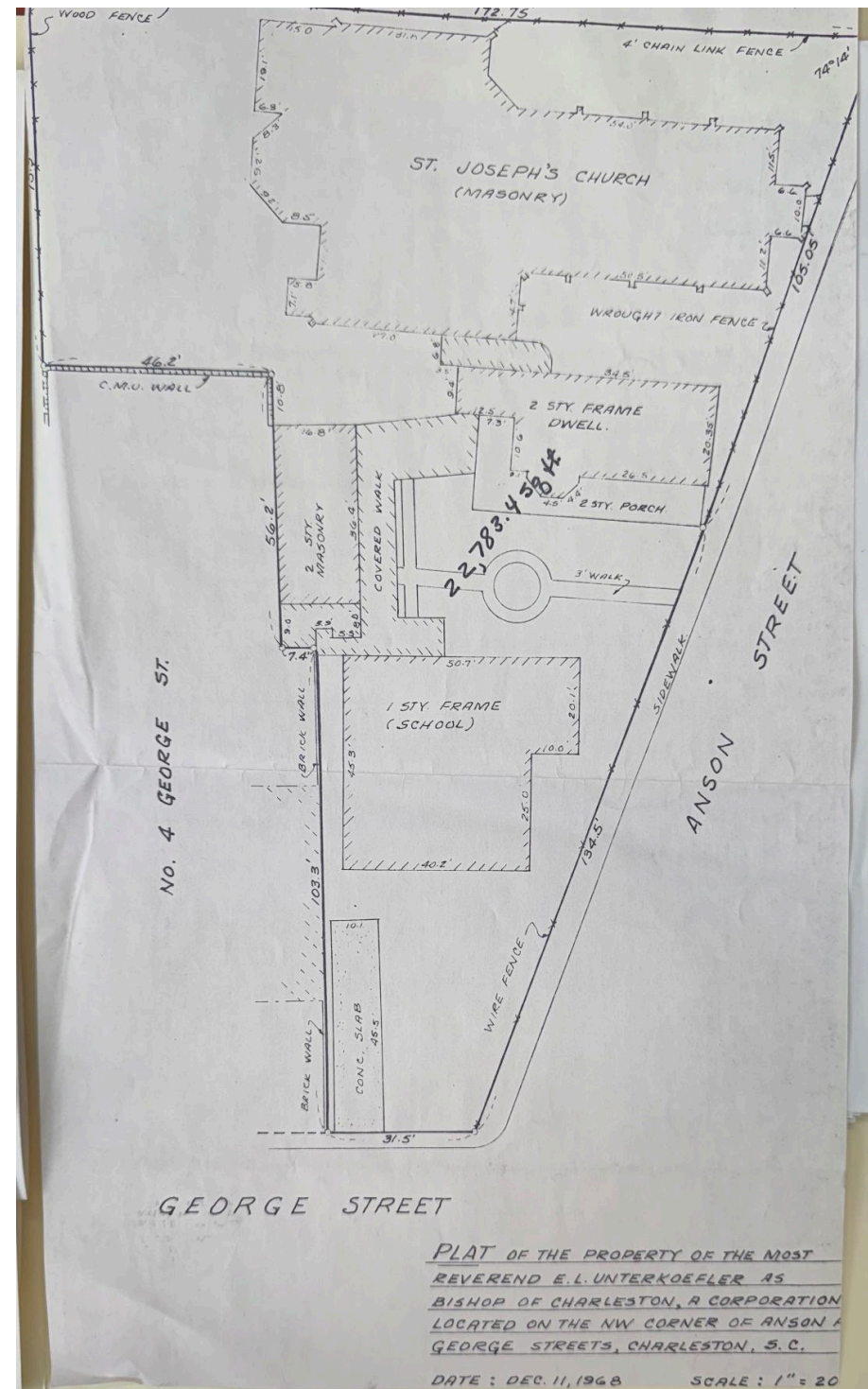


Figure 8. 1957 Sanborn Map, the education building labeled as “Parish Hall”, church labeled as “Church”.



**Figure 9.** 1968 Plat, corner of George Street and Anson Street, education building labeled as “1 STY. Frame (SCHOOL)” a part of St Joseph’s Church.

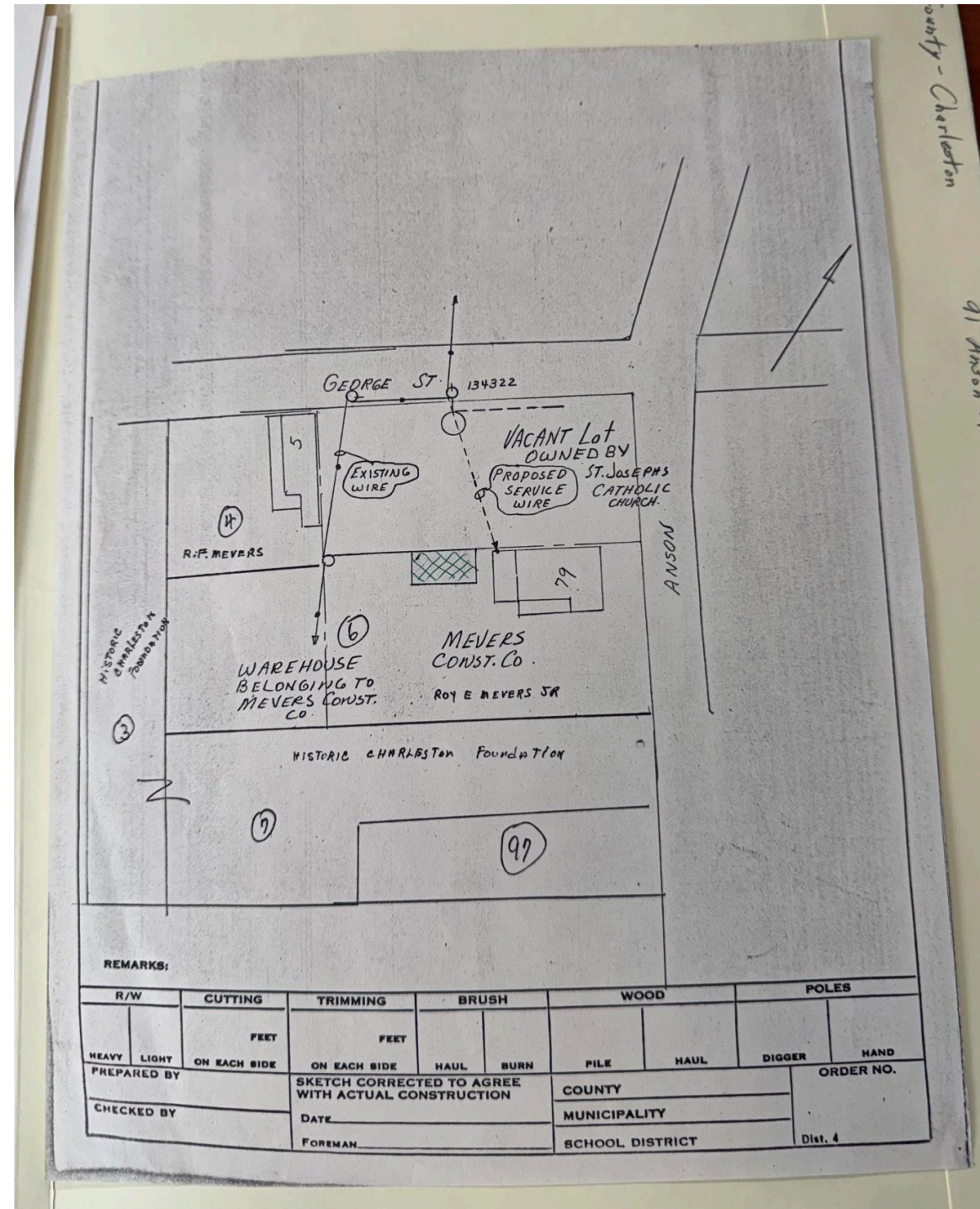


Figure 10. Undated, map of proposed service wire for property of church.

## Appendix C: Historic Photographs

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**Figure 1.** 1940, St Joseph's School, Roman Catholic Diocese of Charleston.



**Figure 2.** 1940, St Joseph's School, Roman Catholic Diocese of Charleston.


✓ IDENTIFICATION Serial No. <i>A 478</i> Borough <i>Anson</i> Street No. <i>91 Anson St</i> <i>St. Joseph's School</i> <i>+ Rectory</i>	ZONE		NEIGHBORHOOD		 <i>24.2</i>			
	<i>A</i> or <i>B</i> Residence <input type="checkbox"/>	Commercial <input type="checkbox"/>	Light Industrial <input type="checkbox"/>	Heavy Industrial <input type="checkbox"/>		Favorable <input type="checkbox"/> Mediocre <input type="checkbox"/> Adverse <input checked="" type="checkbox"/> Inharmonious intrusions <input type="checkbox"/>		
SUBJECT CLASSIFICATION	Dwelling <input checked="" type="checkbox"/>	Church <input type="checkbox"/>	Public Bldg. <input checked="" type="checkbox"/>	Accessory Bldg. <input type="checkbox"/>	Scenic Isolated <input type="checkbox"/> " Extensive <input type="checkbox"/>			
	Garden <input type="checkbox"/>	Cemetery <input type="checkbox"/>	Square <input type="checkbox"/>	Park <input type="checkbox"/>				
OCCUPANCY	Single Dwelling <input checked="" type="checkbox"/>	Multiple " <input type="checkbox"/>	Religious <input type="checkbox"/>	Social <input type="checkbox"/>	Abandoned <input type="checkbox"/>	Philanthropic <input type="checkbox"/> Educational <input checked="" type="checkbox"/> Industrial <input type="checkbox"/>		
	Historical <input type="checkbox"/>	Architectural <input type="checkbox"/>	Picturesque <input checked="" type="checkbox"/>	Construction <input type="checkbox"/>	Materials <i>wood</i> <input type="checkbox"/>	Interiors <input type="checkbox"/>	Trees or Plants of Special Interest <input type="checkbox"/>	Characteristic Type <input checked="" type="checkbox"/> Spacious Garden <input type="checkbox"/> Surviving Type Garden <input type="checkbox"/> Small Garden <input checked="" type="checkbox"/> Ironwork <input type="checkbox"/> Doorway <input type="checkbox"/>
PERIOD CLASSIFICATION <i>Furlongs-2482.</i> <b>1941</b>	Pre-Revolutionary <input type="checkbox"/>	Post Revolutionary <input type="checkbox"/>	Ante Bellum <input checked="" type="checkbox"/>	Modern <input checked="" type="checkbox"/>	STATE OF REPAIR	Excellent <input type="checkbox"/> Good <input checked="" type="checkbox"/> Fair <input type="checkbox"/> Poor <input type="checkbox"/> Bad <input type="checkbox"/>	QUALITY RATING	Mention <input checked="" type="checkbox"/> Notable <input type="checkbox"/> Valuable <input type="checkbox"/> Valuable to City <input type="checkbox"/> Nationally Important <input type="checkbox"/>



Figure 3. "Index Card Survey of 91 Anson Street (St. Joseph's School and Rectory)." Civic Services Committee of the Carolina Art Association, 1941. Gibbes Museum of Art Collection, Lowcountry Digital Library. <https://lcdl.library.cofc.edu/lcdl/catalog/246497>.



**Figure 4.** 1942, South and East Elevations Viewed from George Street, Roman Catholic Diocese of Charleston



**Figure 5.** October 12, 1942, "Blue Ribbon Children", East Elevation, St Joseph's School, Roman Catholic Diocese of Charleston.



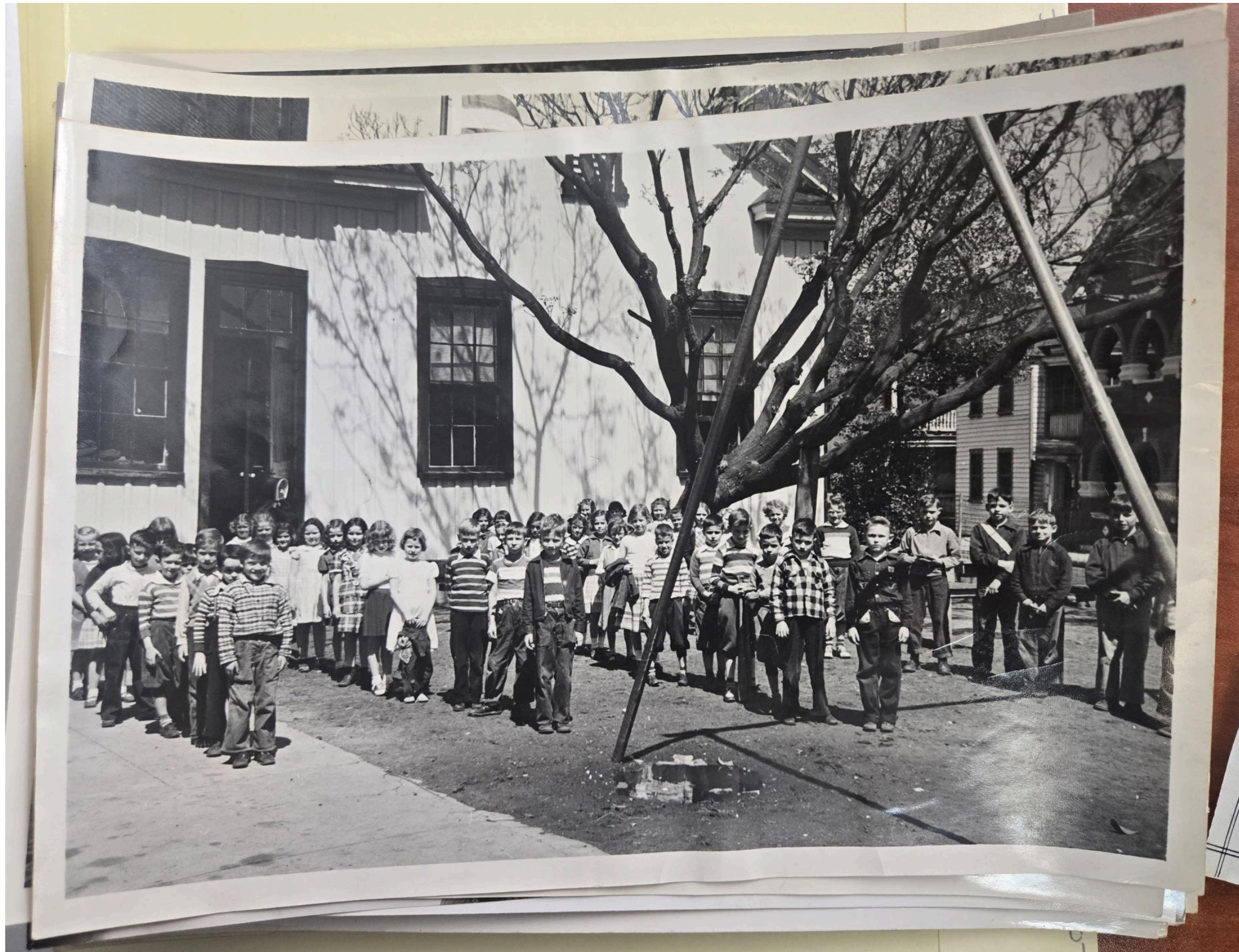
**Figure 6.** 1947, East Elevation, St Joseph's School, Roman Catholic Diocese of Charleston.



**Figure 7.** Undated, South Elevation, St Joseph's School, Roman Catholic Diocese of Charleston.



**Figure 8.** Undated, South Elevation, St Joseph's School, Roman Catholic Diocese of Charleston.



**Figure 9.** Undated, South Elevation, St Joseph's School, Roman Catholic Diocese of Charleston.



**Figure 10.** Undated, South Elevation Viewed from Anson Street, Roman Catholic Diocese of Charleston

ST. JOSEPH'S SERVANT'S HOUSE  
91 (Rear) Anson Street  
Charleston, South Carolina

Item 41

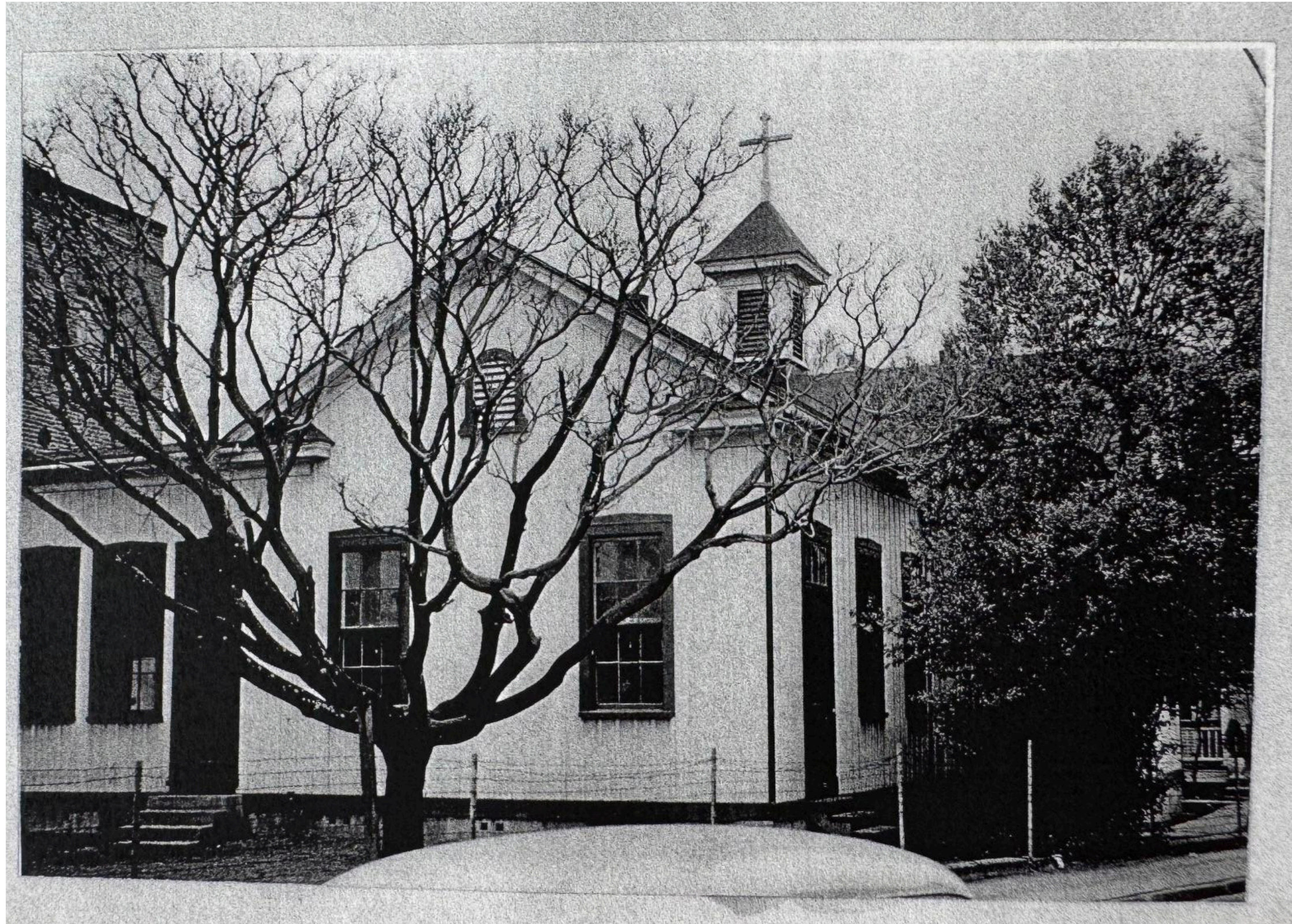


Description: This is a two story brick building of ordinary construction with a wood joisted roof covered with metal. The interior has a concrete floor first and wood joisted floor second, close plastered side walls and ceilings of wood lath and plaster.

This building is in a good state of repair.

ESTIMATED BUILDING VALUE: \$3,300.

**Figure 11.** Undated, "Rear of St Joseph's Servant House", 91 Anson Street, Description of building with estimated value, Roman Catholic Diocese of Charleston.



**Figure 12.** 1957, South Elevation, St. Joseph's School, Roman Catholic Diocese of Charleston.



**Figure 13.** “George Street Elevation of 91 Anson Street (St. Johns Reformed Episcopal Church).” 1960. Historic Charleston Foundation Collection, Lowcountry Digital Library.

<https://lcdl.library.cofc.edu/lcdl/catalog/lcdl:64345>.



**Figure 14.** August 01, 1968, South and East Elevations Viewed from Anson Street, Roman Catholic Diocese of Charleston.



**Figure 15.** 1968, Property Viewed From Anson Street, Appraisal Photographs, Roman Catholic Diocese of Charleston.

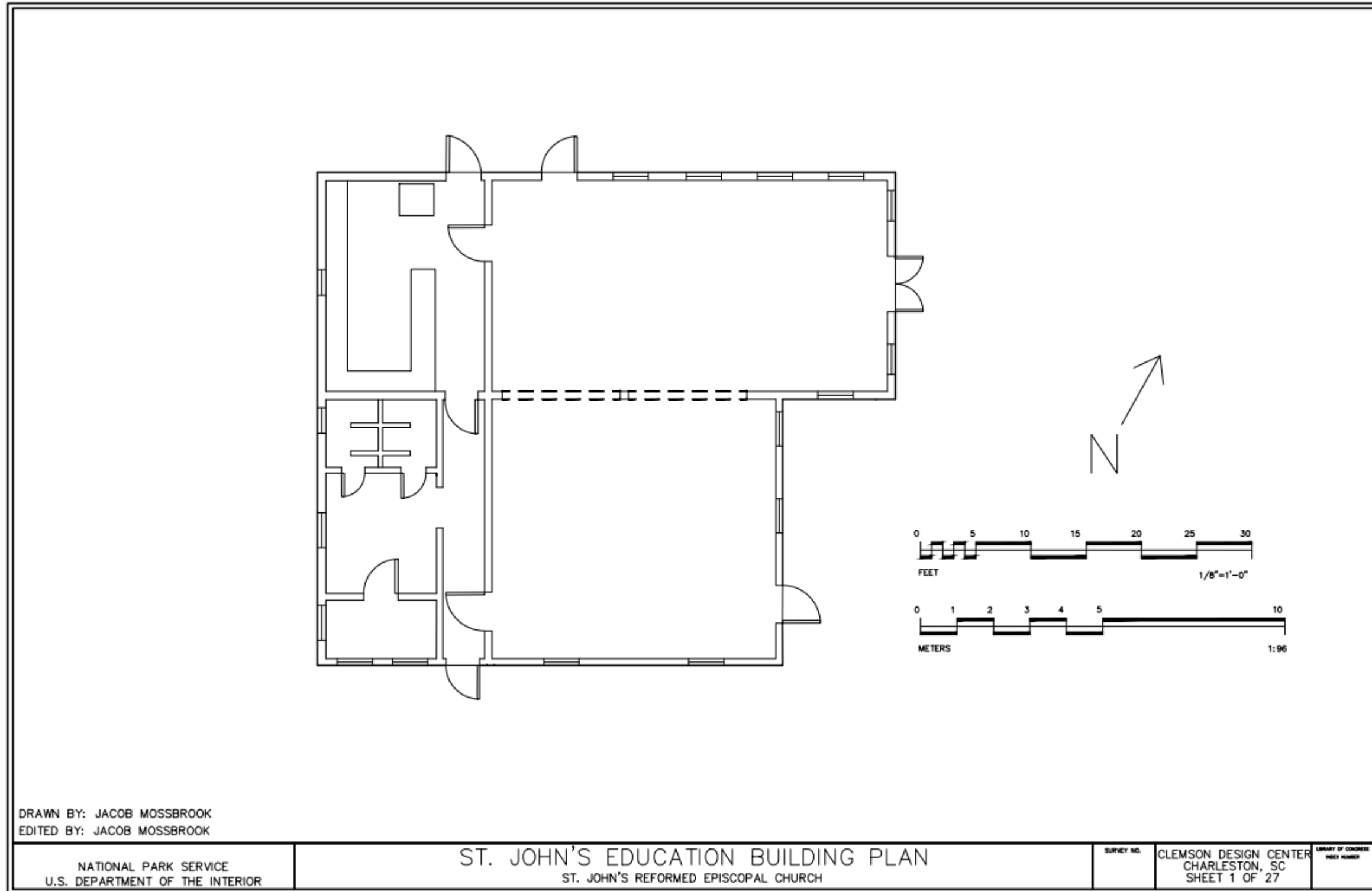


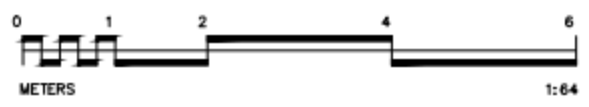
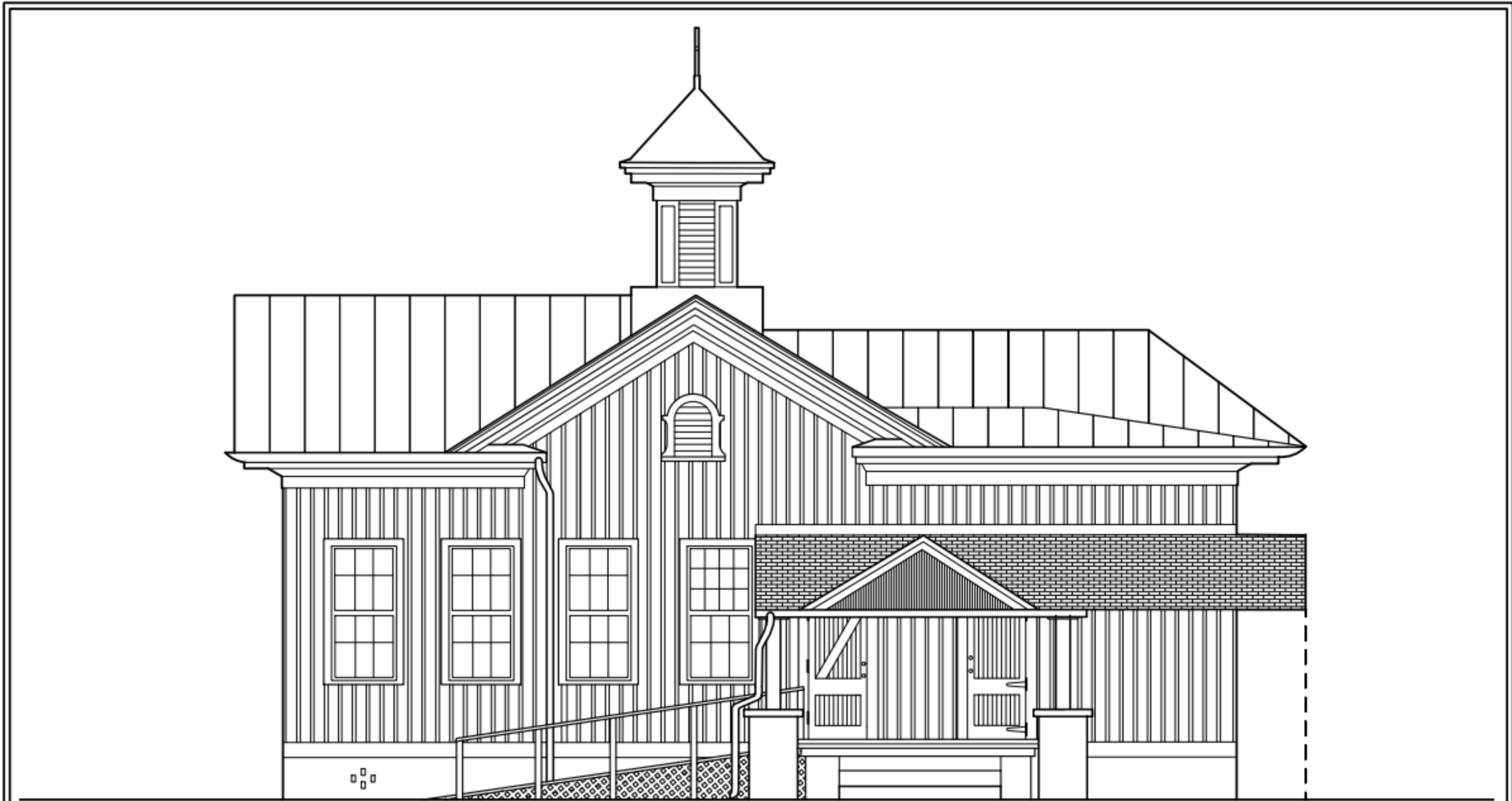
**Figure 16.** 1968, North Elevation, Appraisal Photographs, Roman Catholic Diocese of Charleston.



**Figure 17.** 1968, South Elevation, Appraisal Photographs, Roman Catholic Diocese of Charleston.

# Appendix D: Measured Drawings





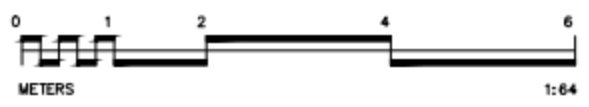
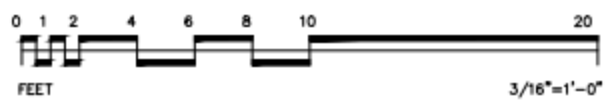
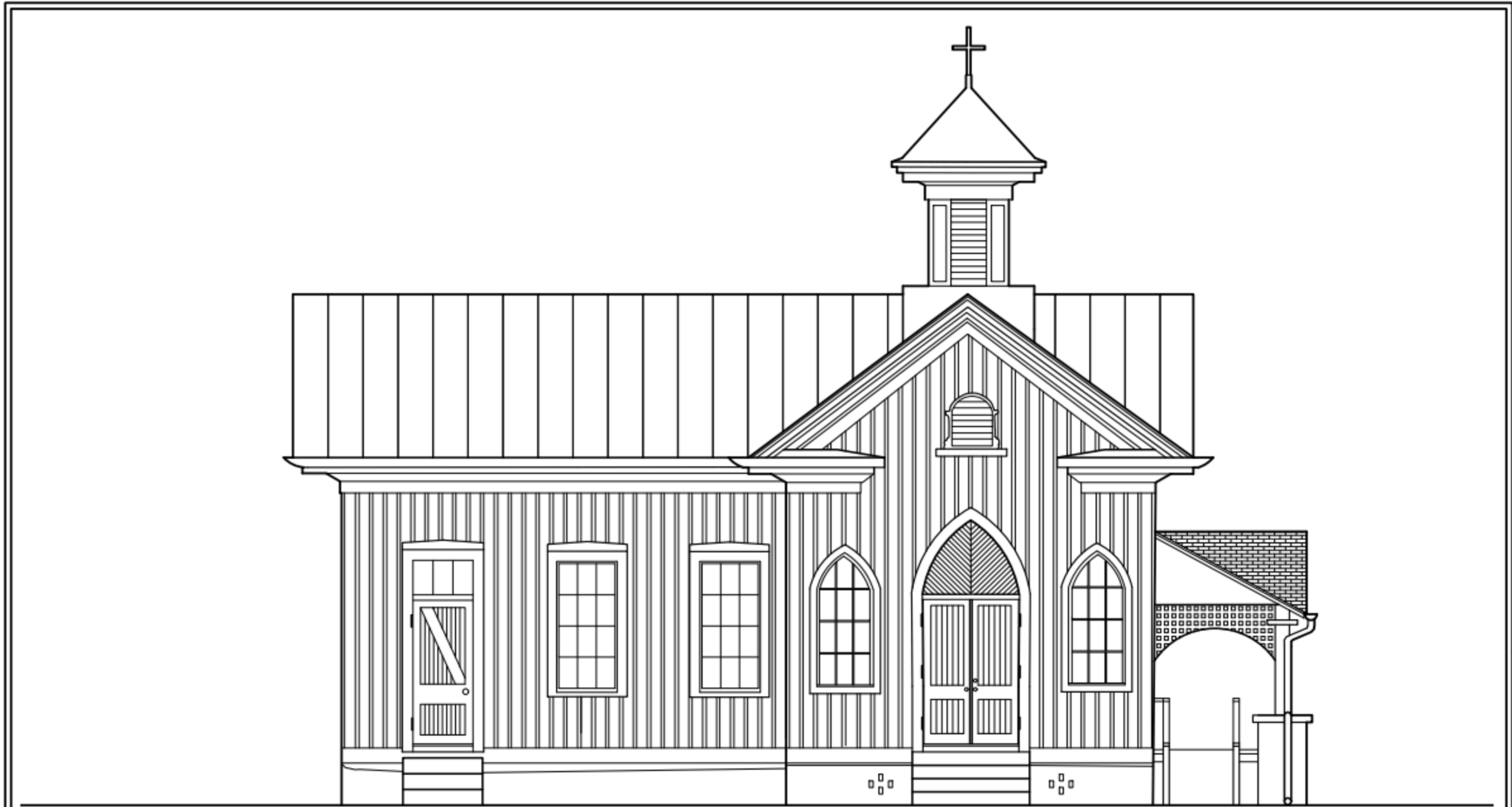
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EDUCATION BUILDING NORTH ELEVATION  
 ST. JOHN'S REFORMED EPISCOPAL CHURCH

SURVEY NO. CLEMSON DESIGN CENTER  
 CHARLESTON, SC  
 SHEET 2 OF 27

LIBRARY OF CONGRESS  
 INDEX NUMBER

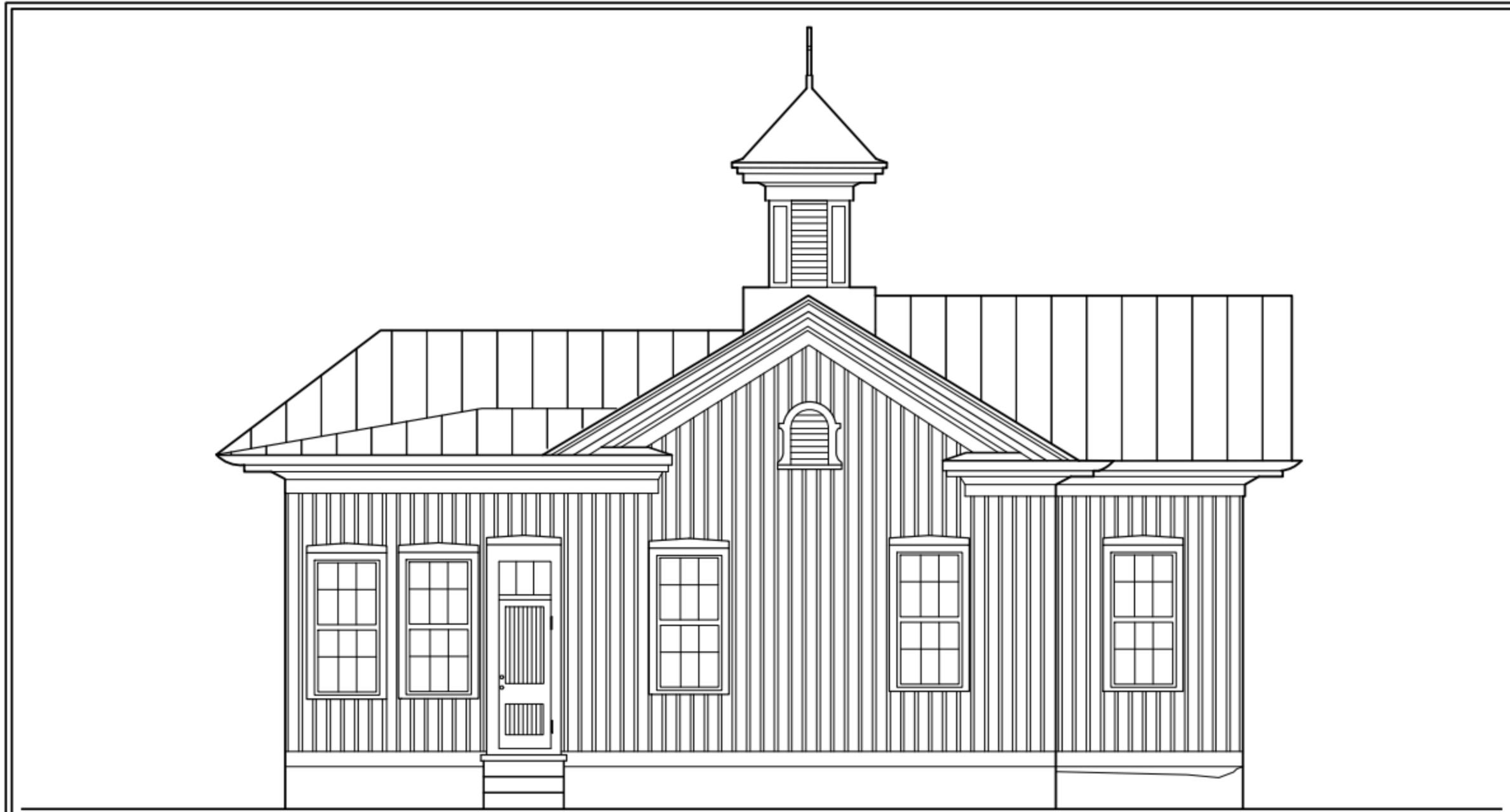


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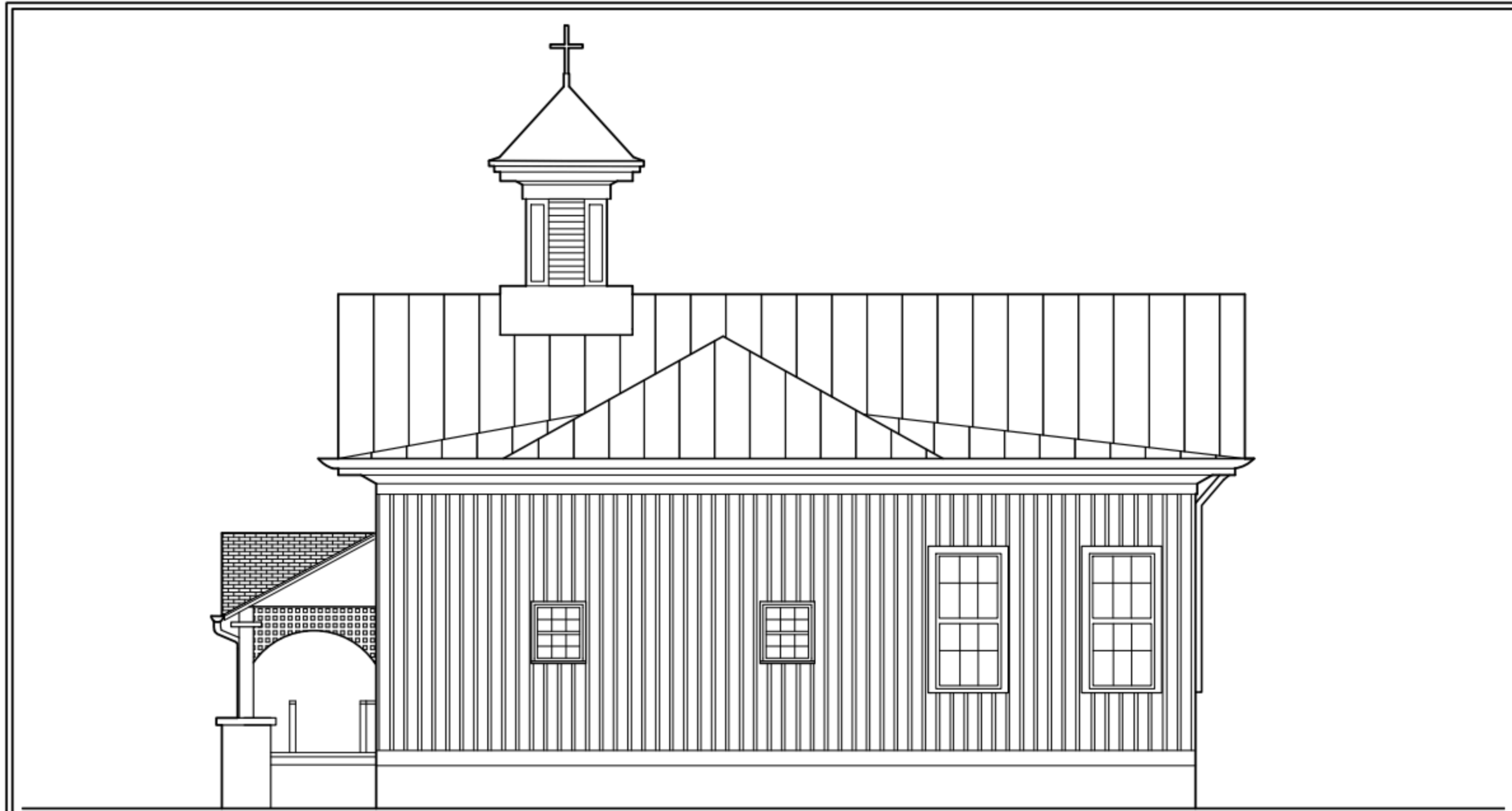
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 ST. JOHN'S REFORMED EPISCOPAL CHURCH

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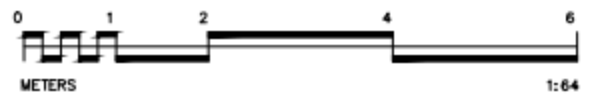


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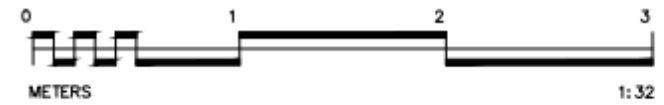
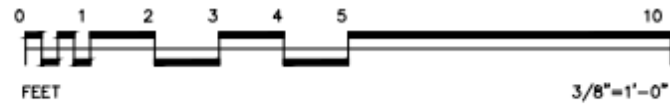
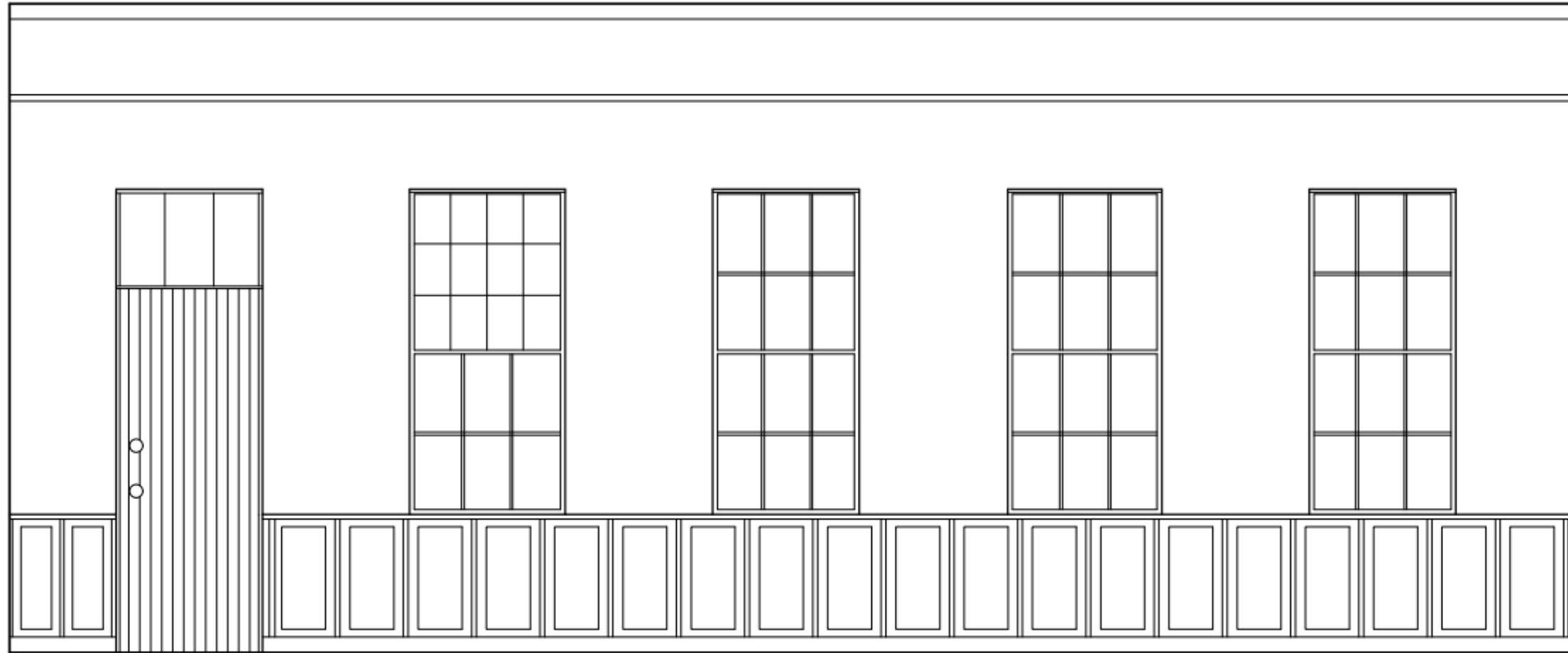
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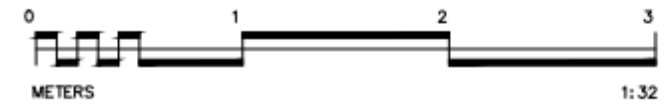
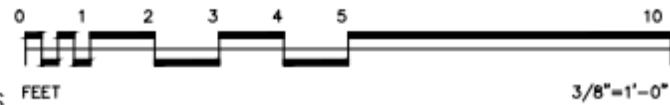
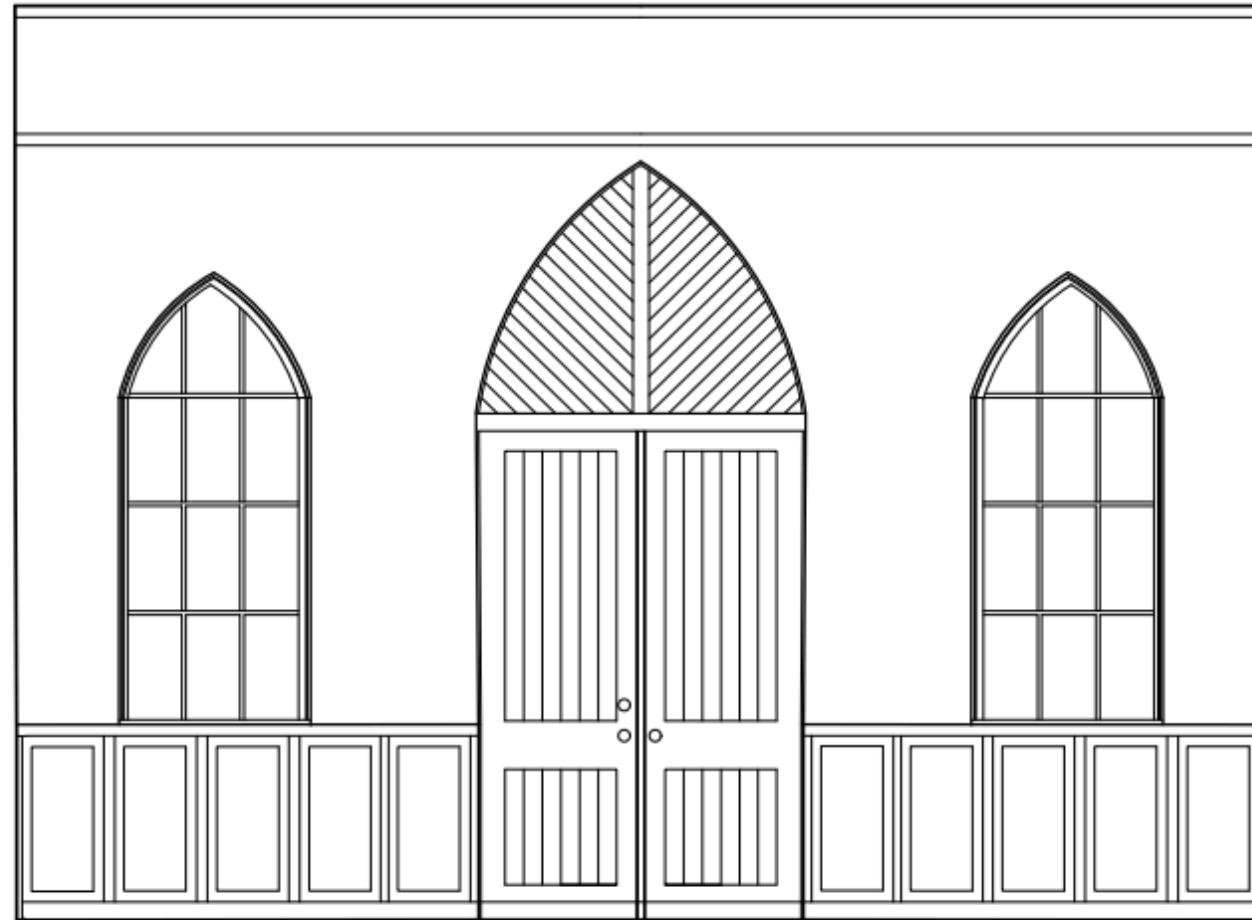


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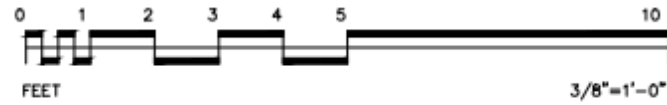
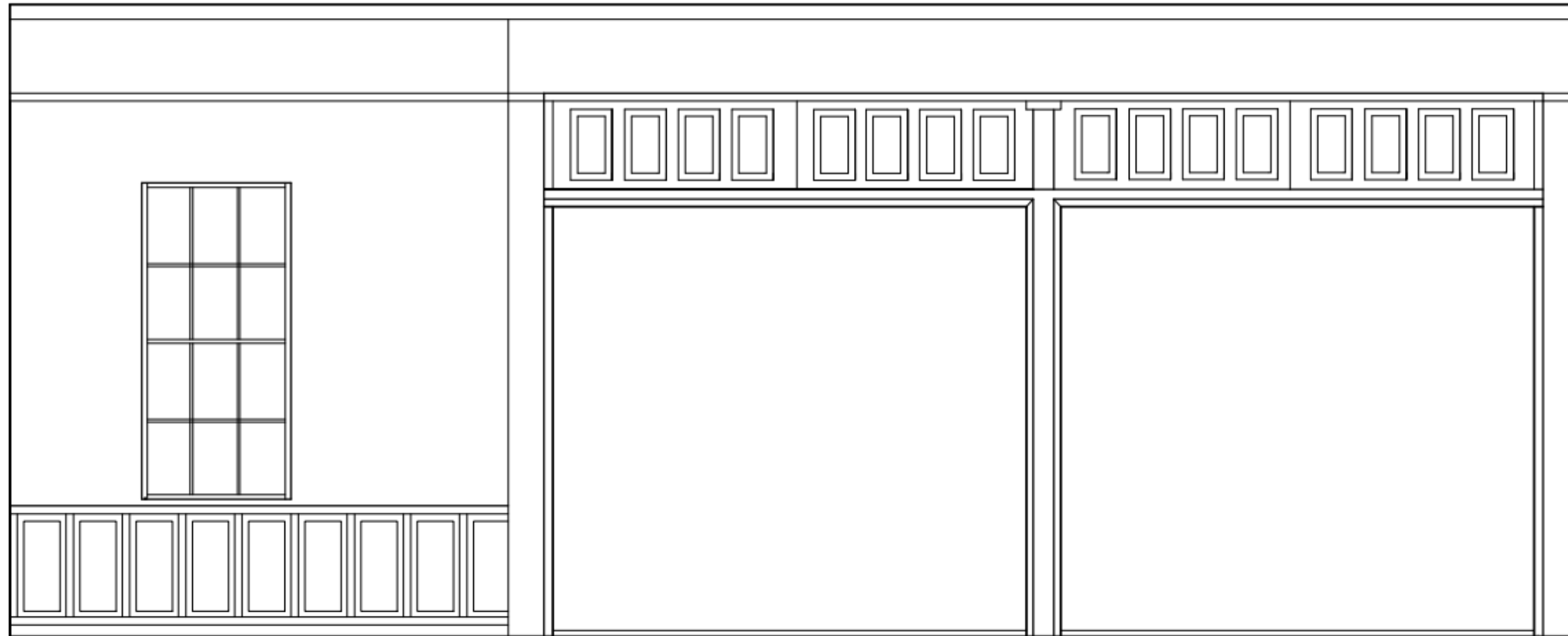


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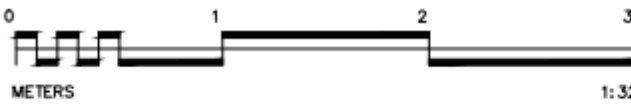
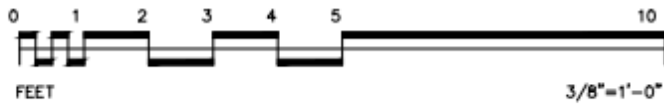
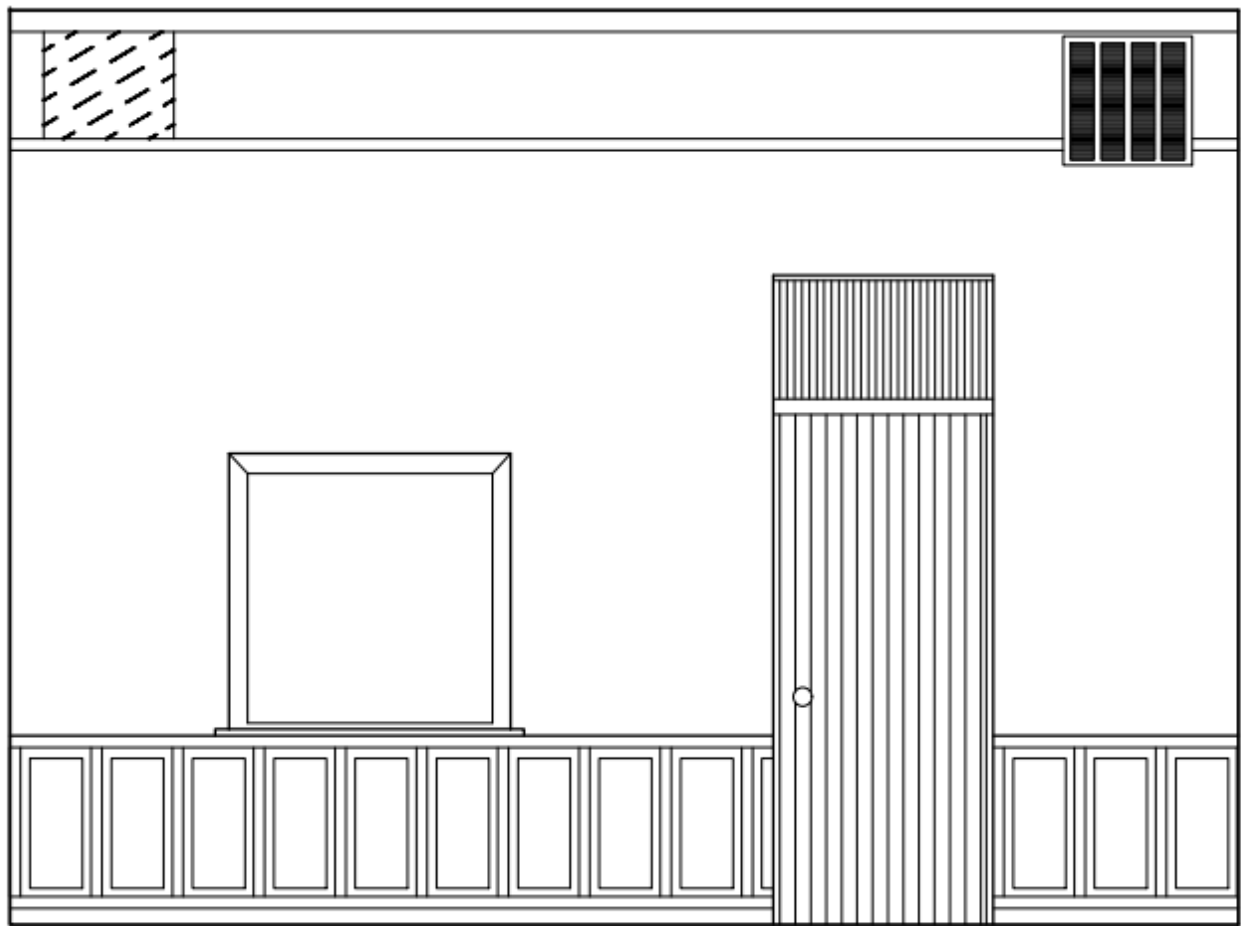
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 CHARLESTON, SC  
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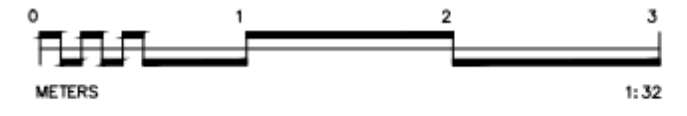
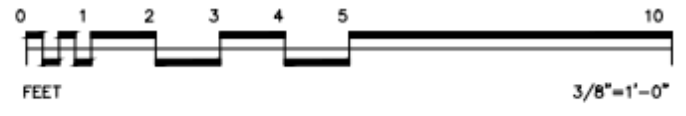
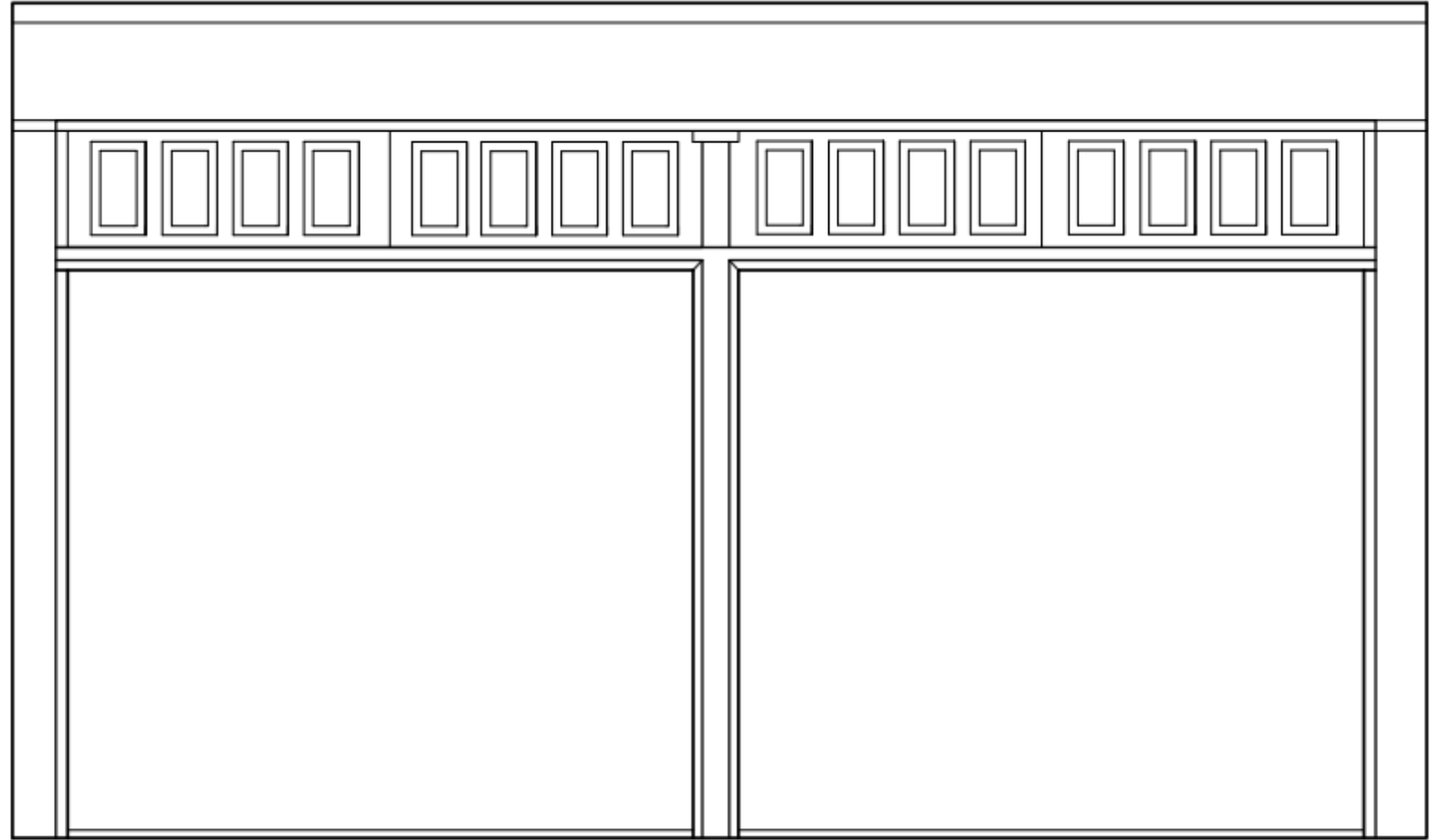


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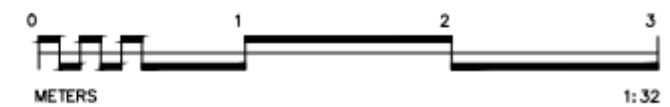
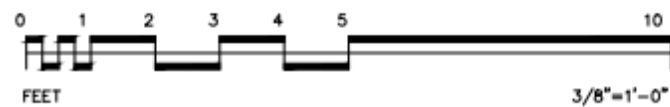
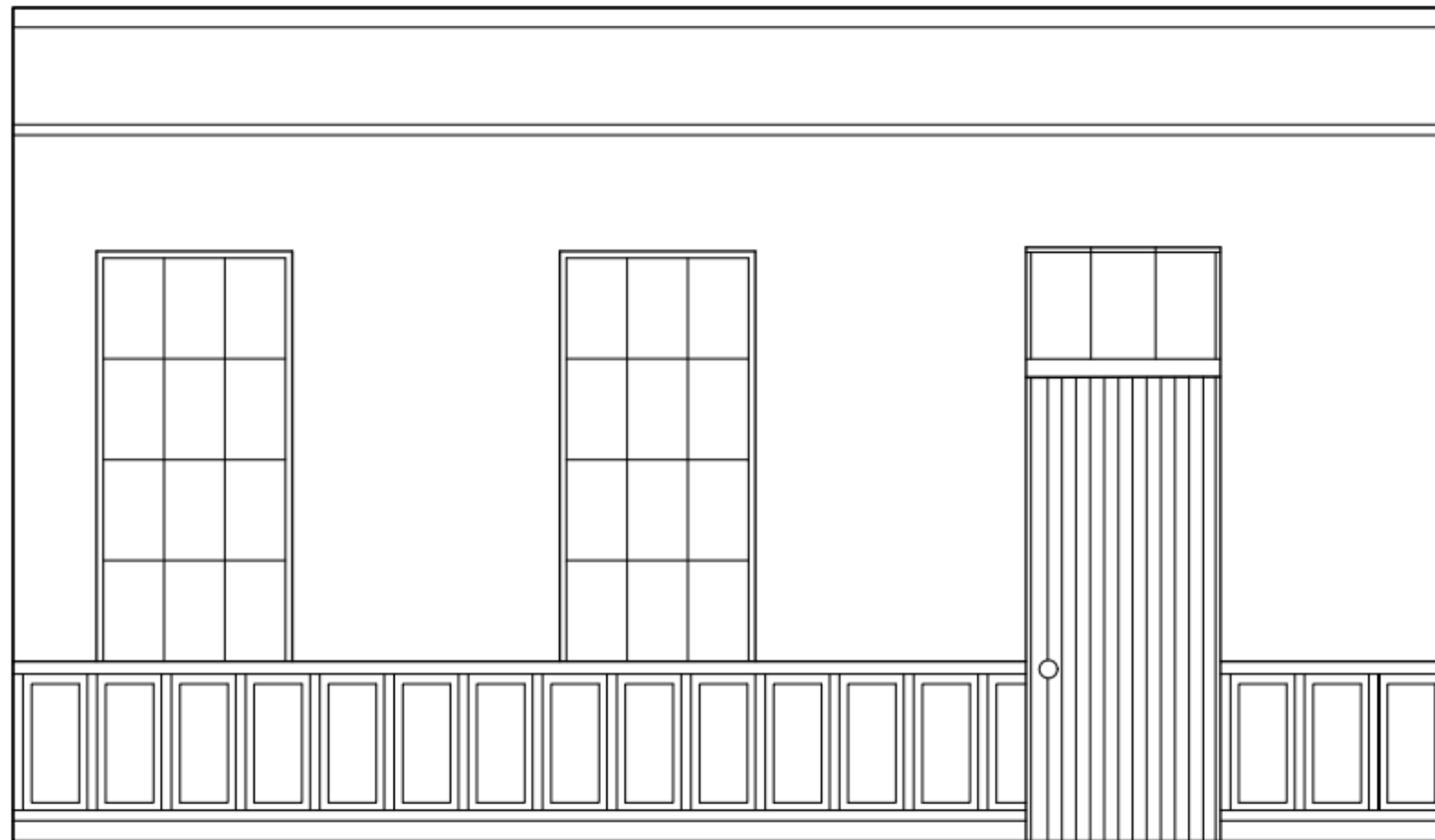


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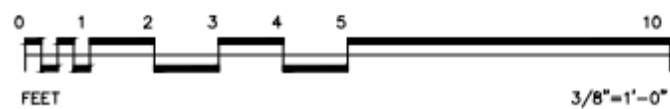
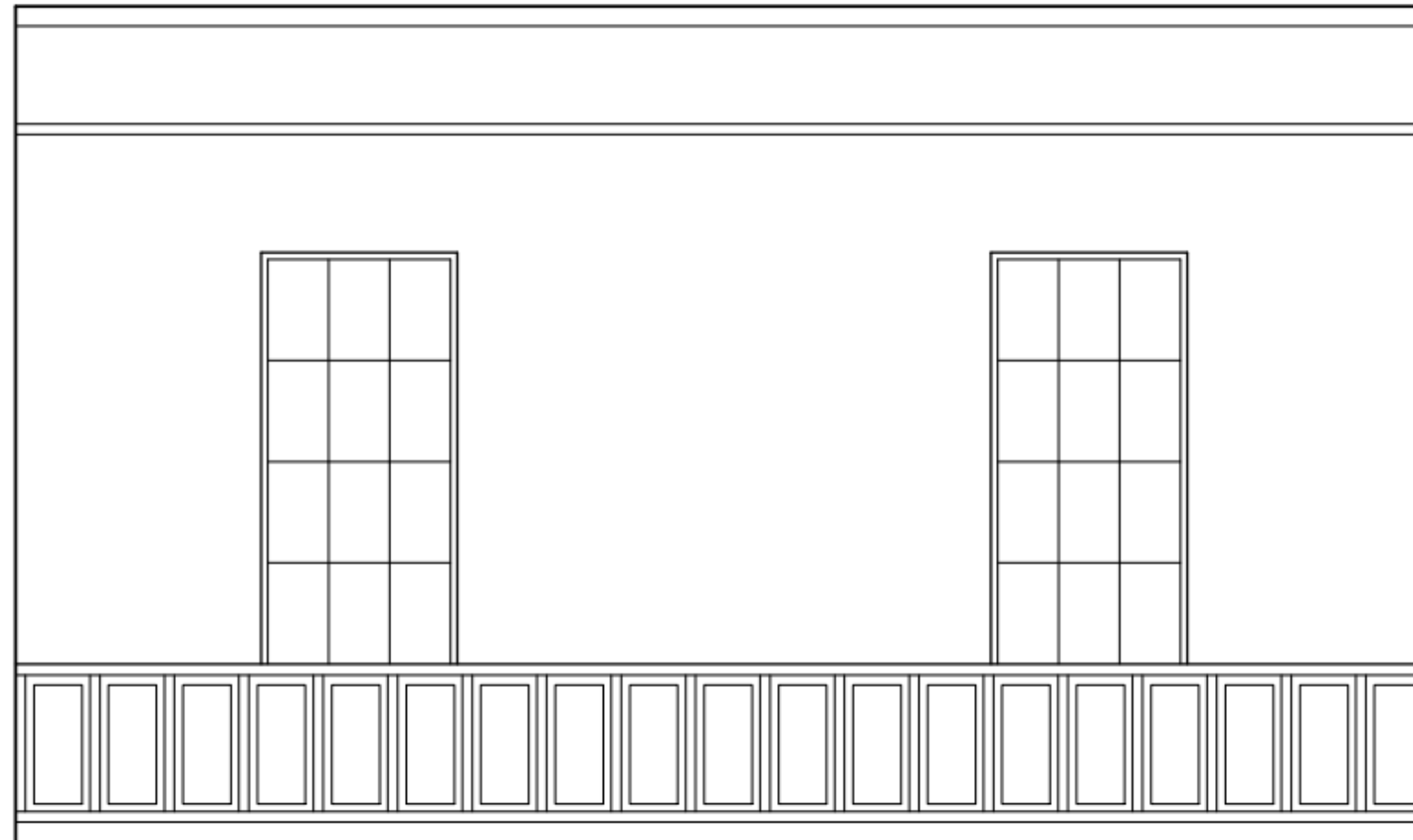


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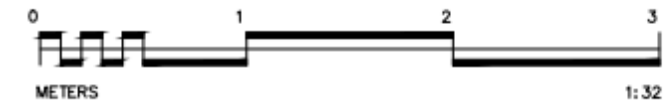
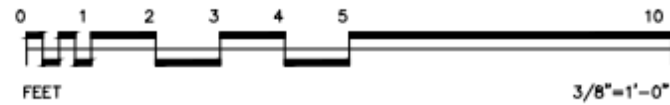
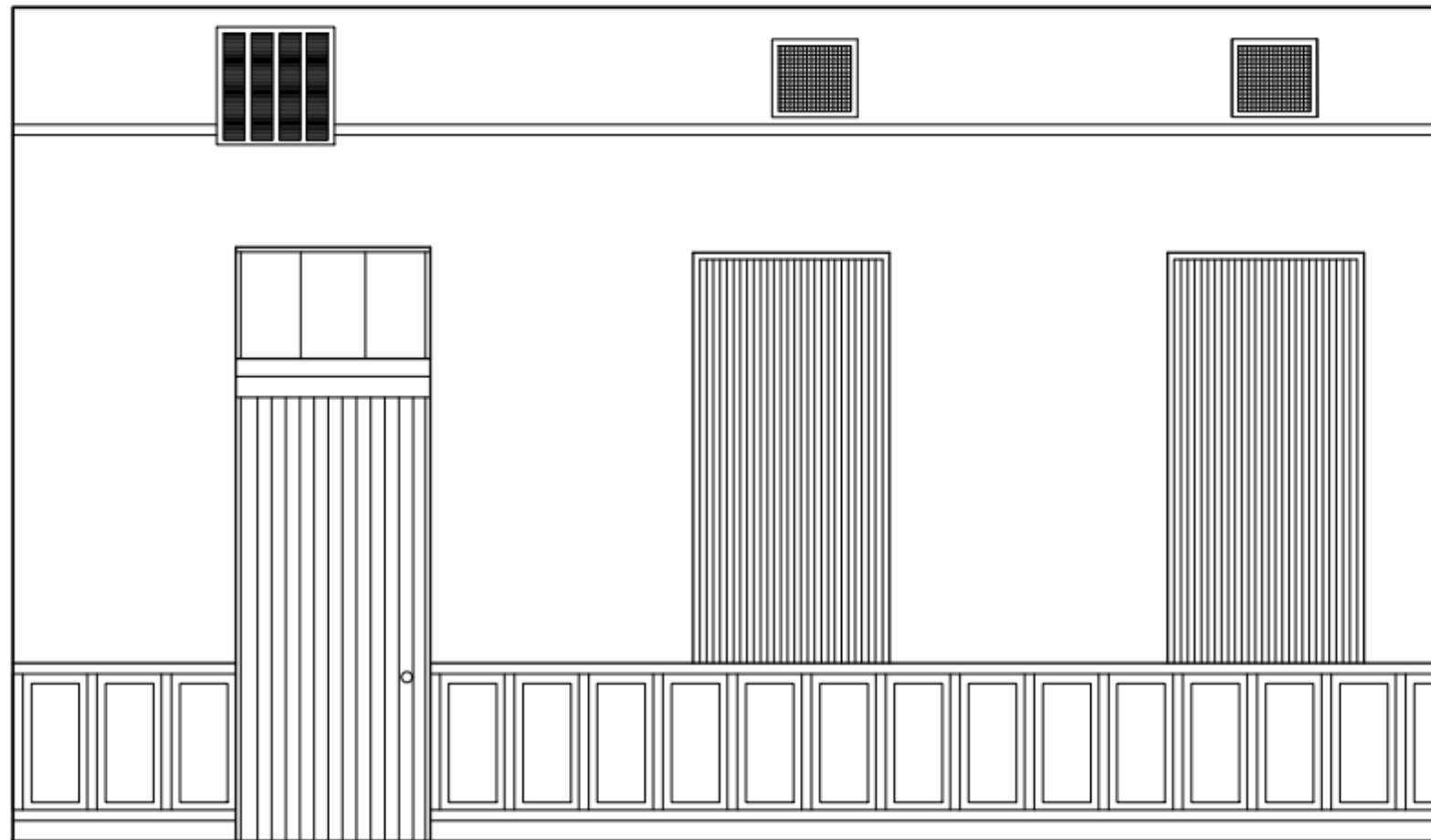
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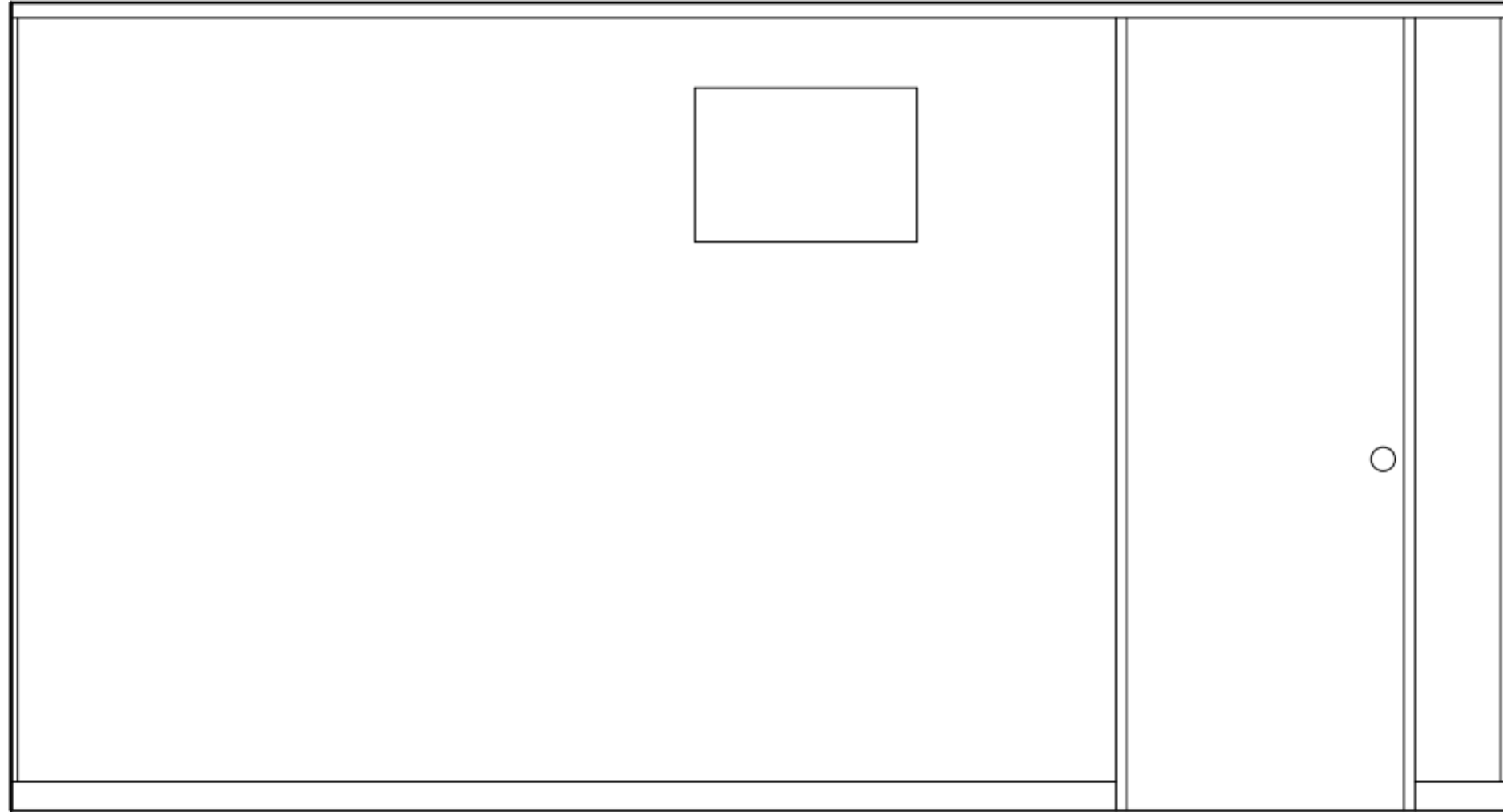


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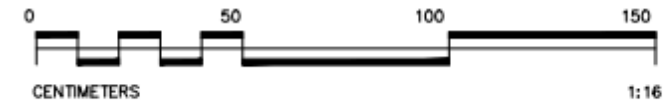
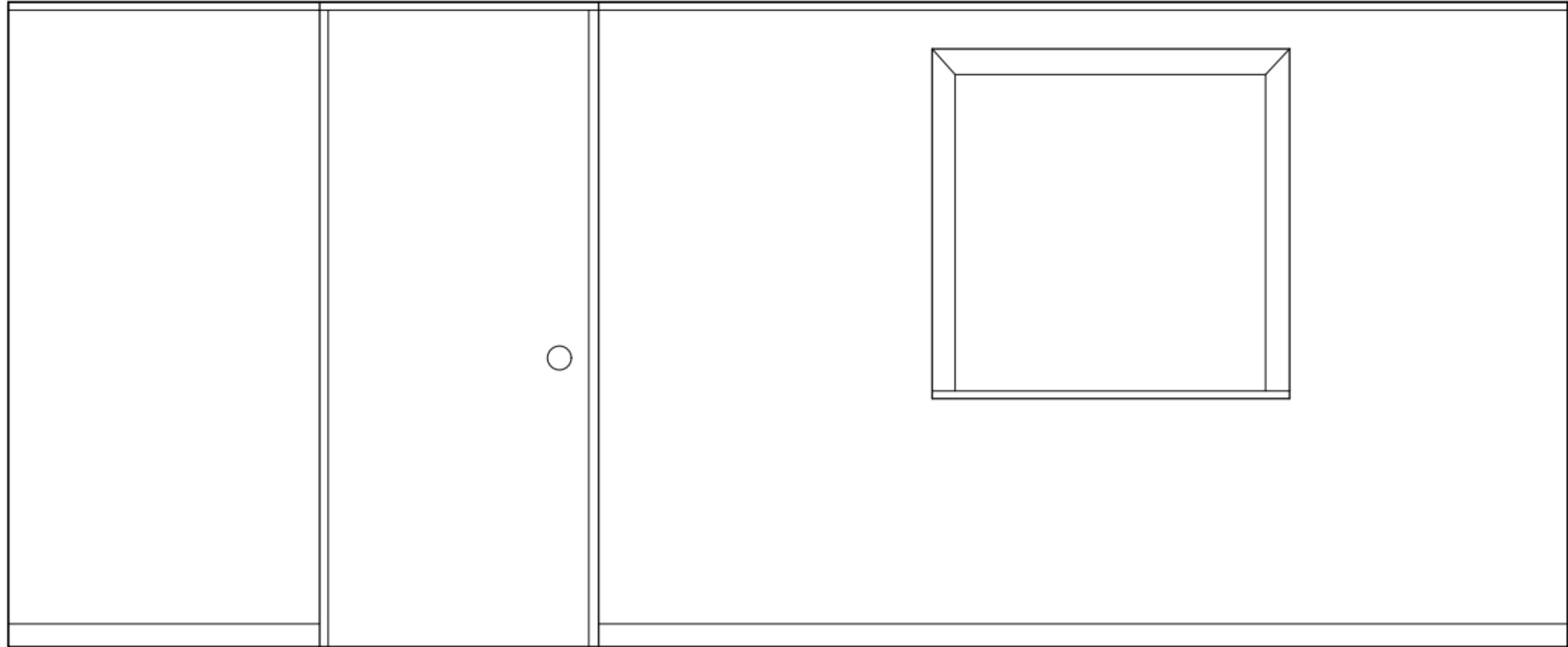


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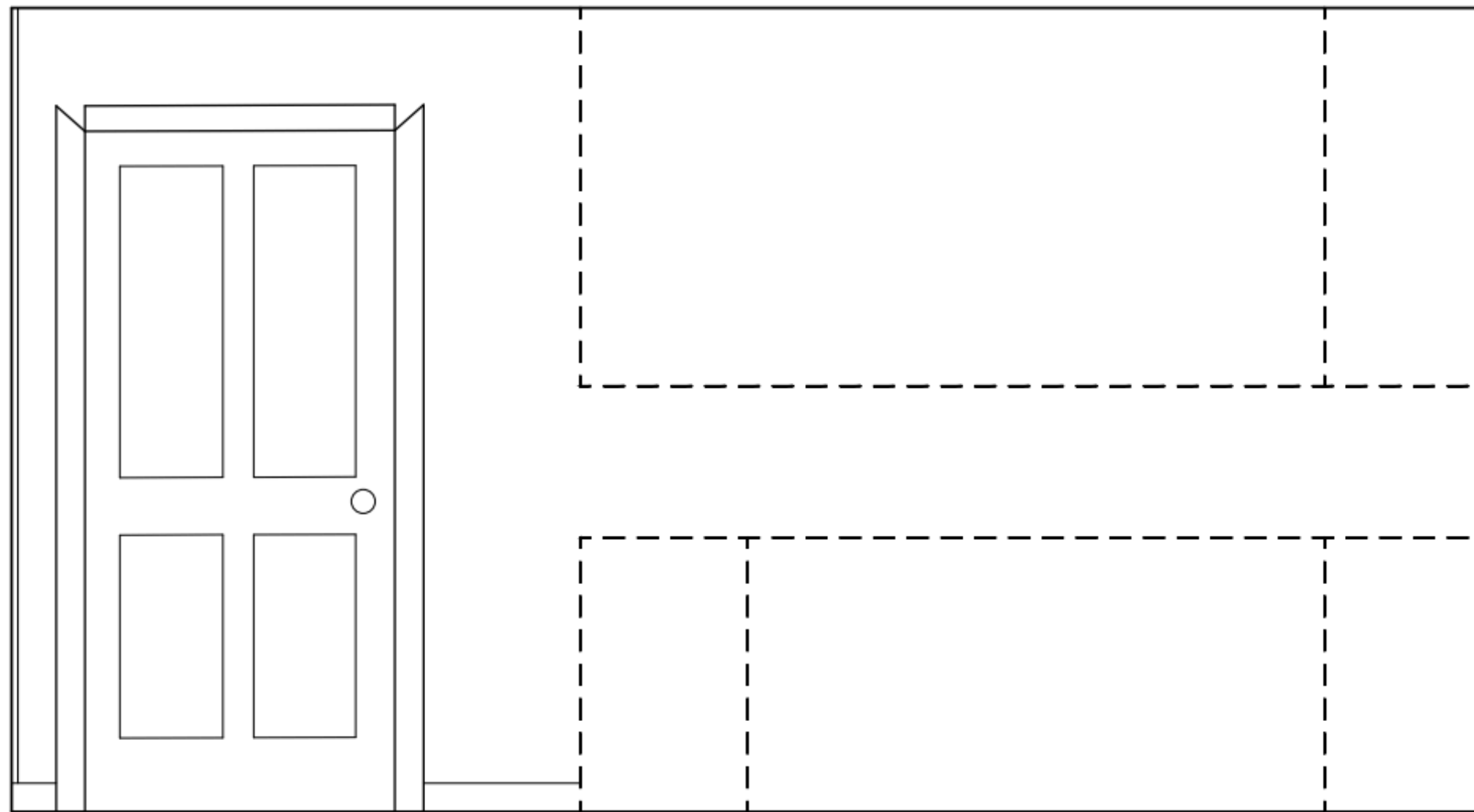
KITCHEN NORTH ELEVATION  
 ST. JOHN'S REFORMED EPISCOPAL CHURCH

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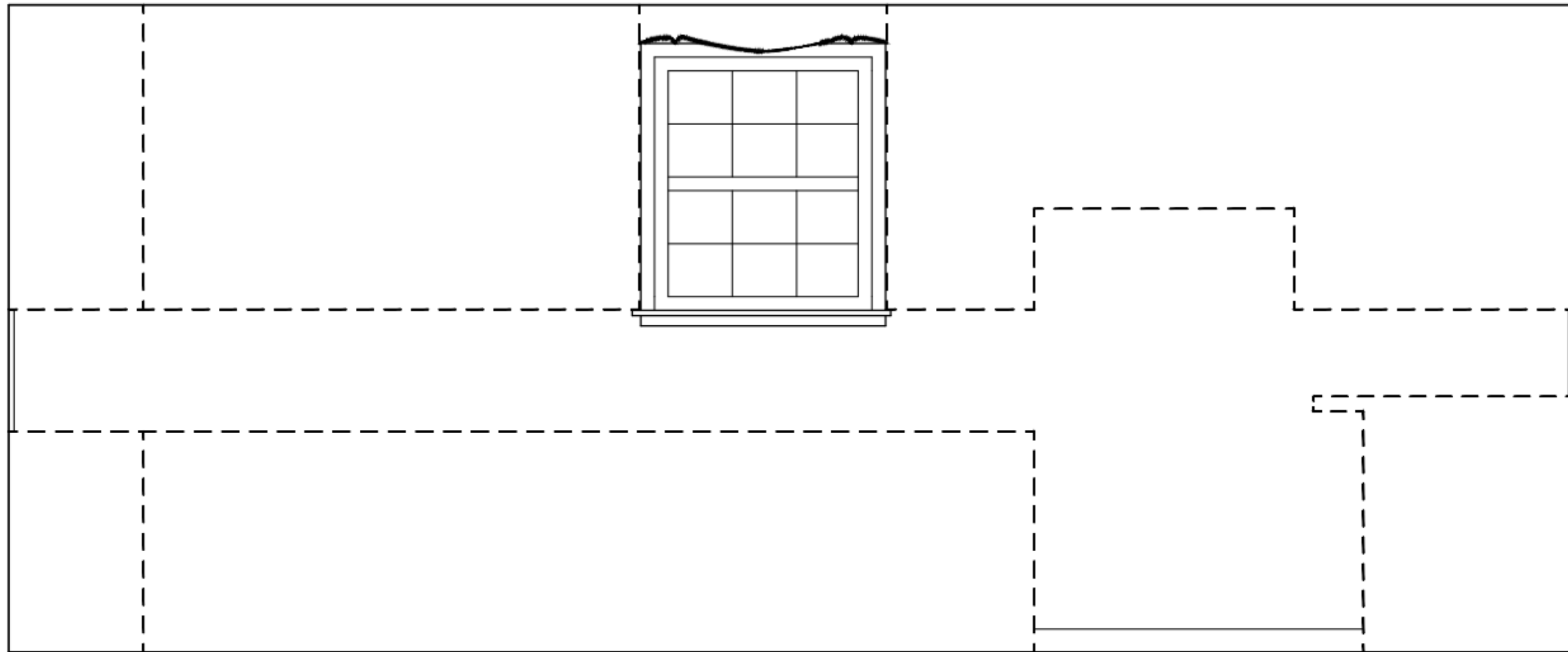
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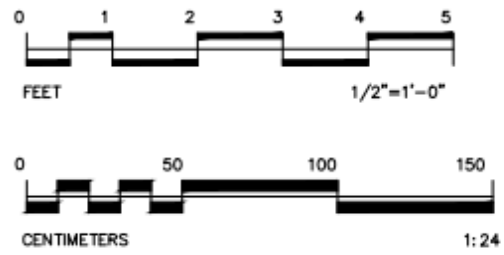
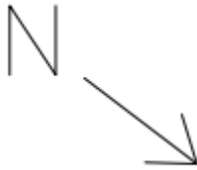
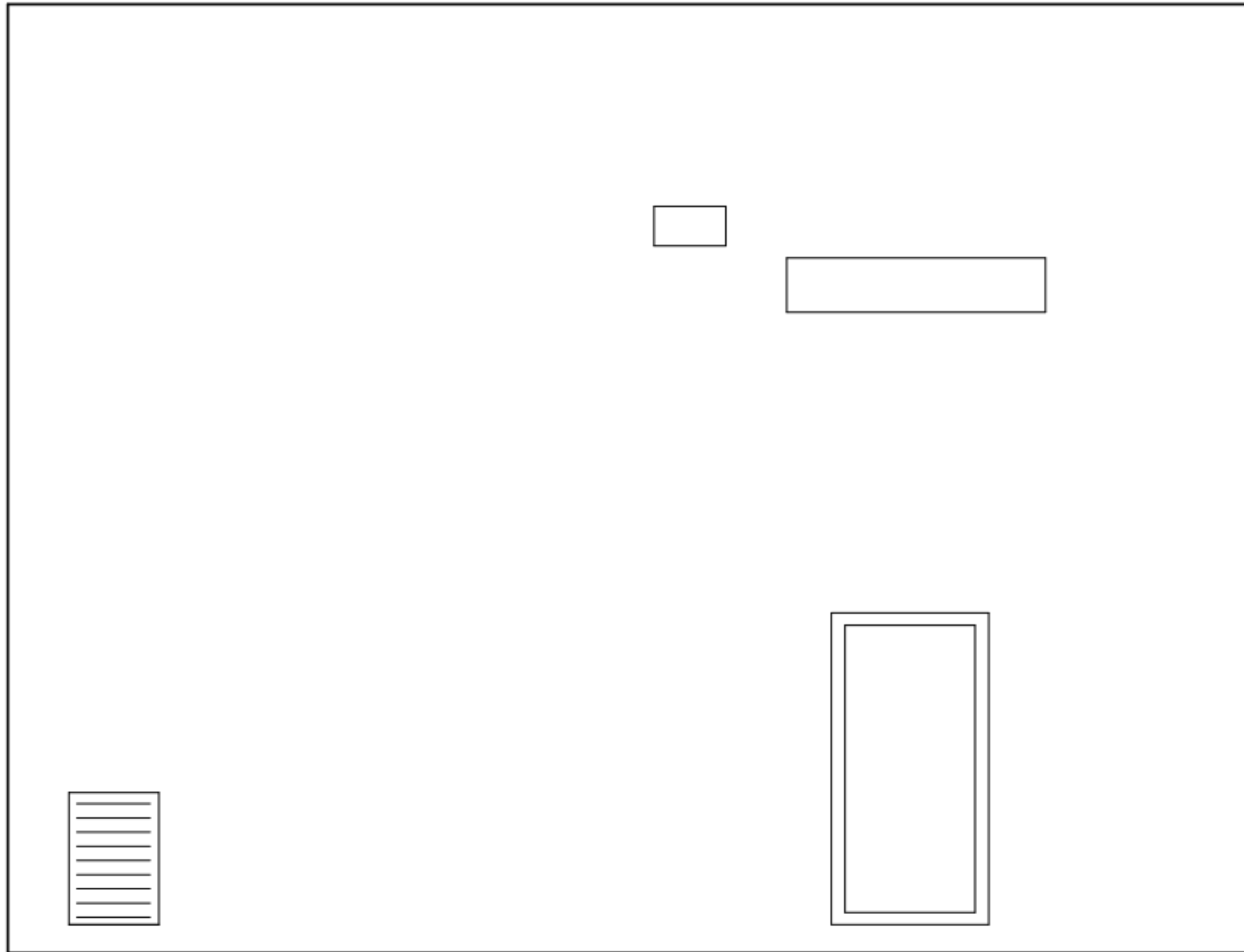


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 ST. JOHN'S REFORMED EPISCOPAL CHURCH

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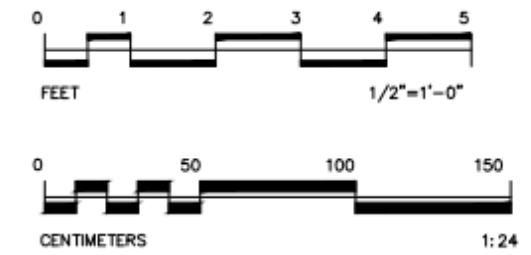
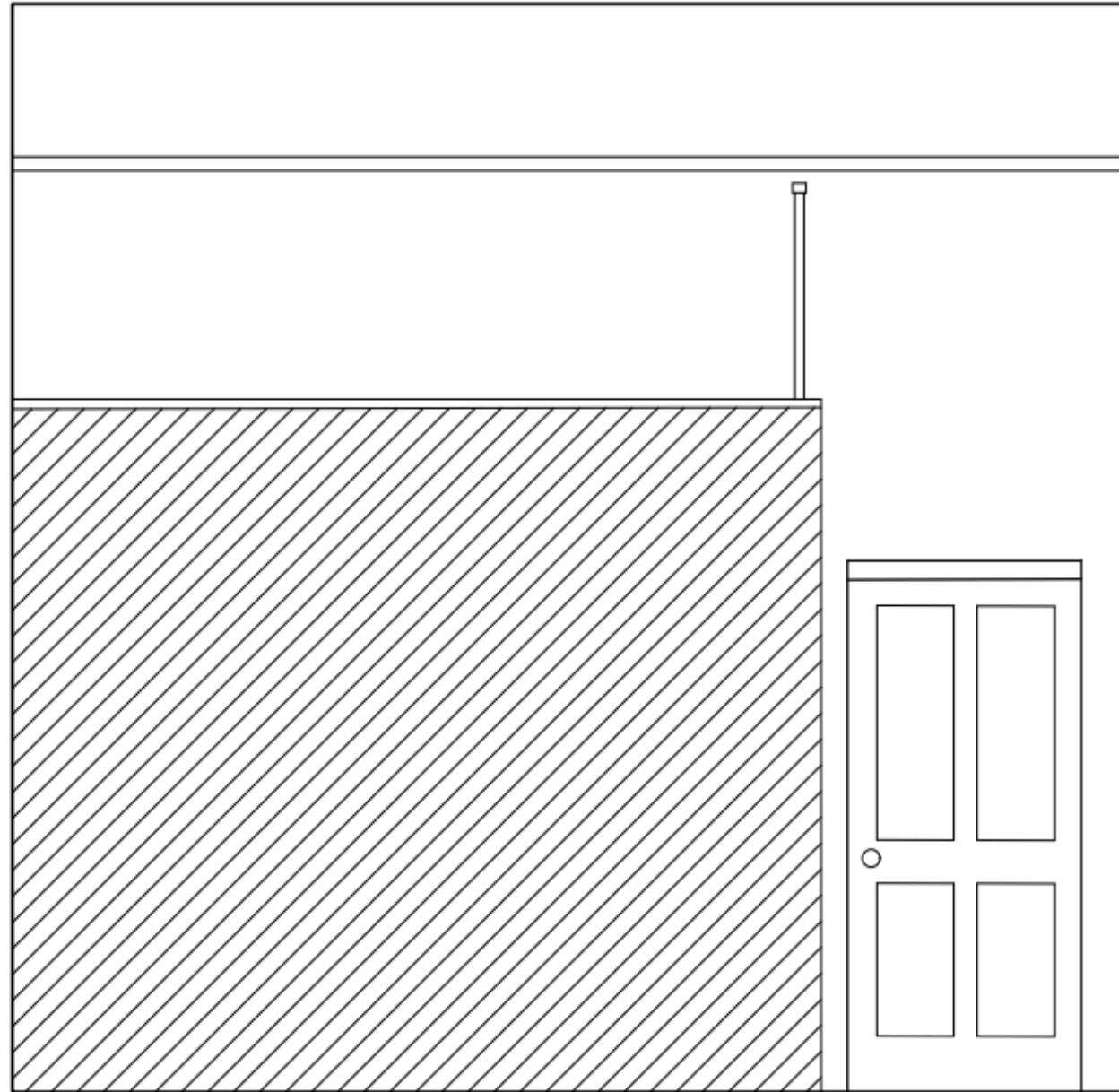
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 CHARLESTON, SC  
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LIBRARY OF CONGRESS  
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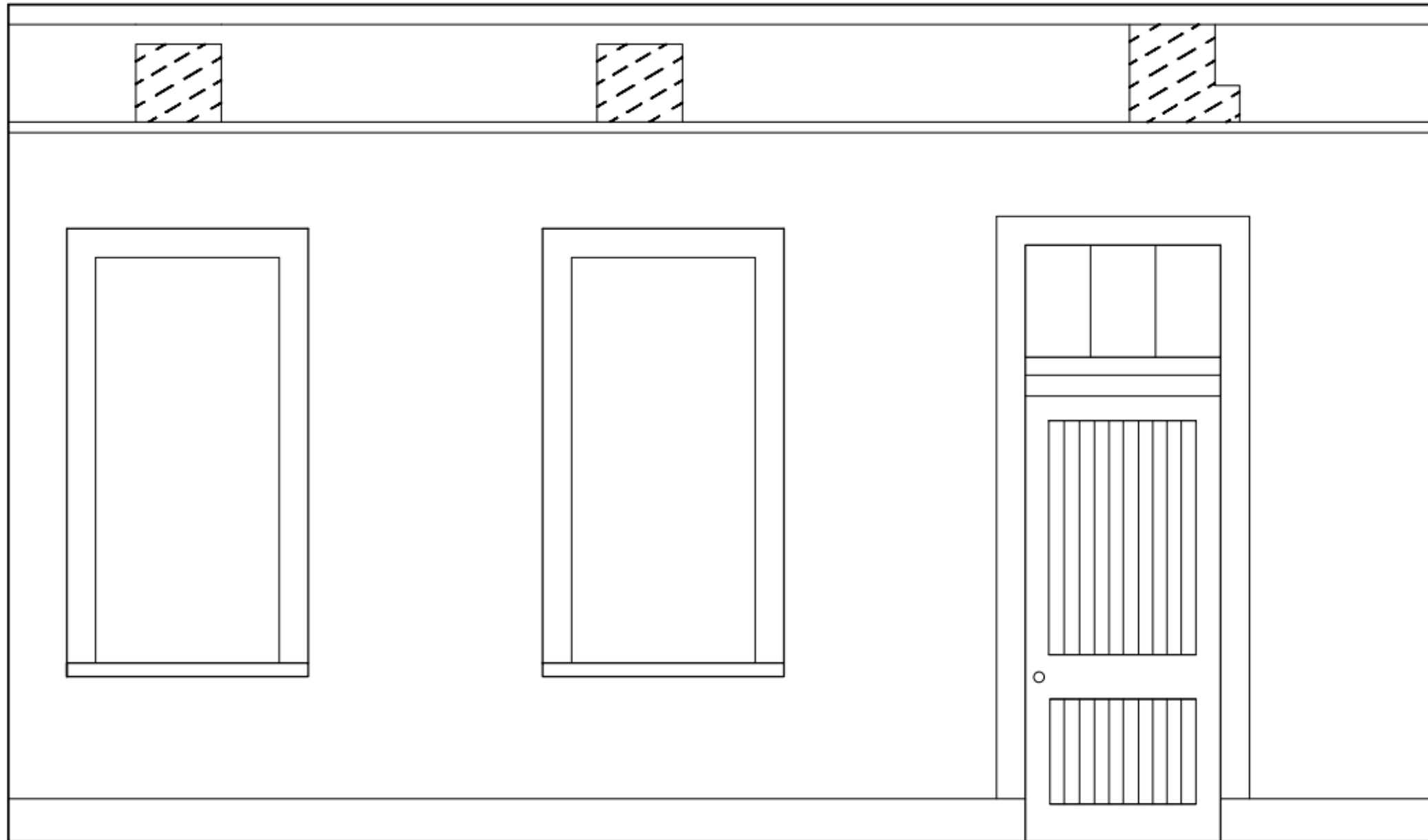


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HALLWAY NORTH ELEVATION  
 ST. JOHN'S REFORMED EPISCOPAL CHURCH

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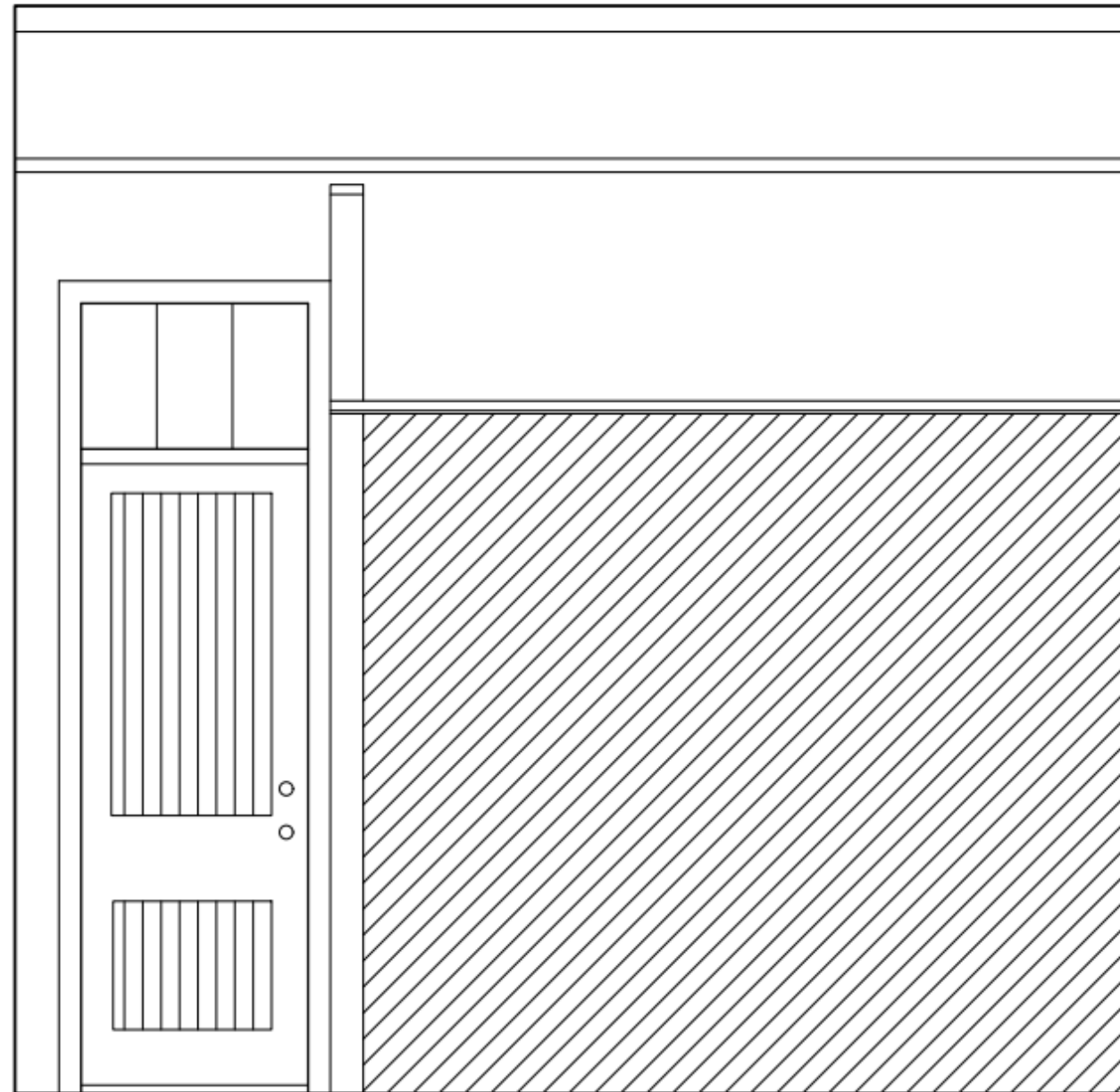
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HALLWAY EAST ELEVATION  
 ST. JOHN'S REFORMED EPISCOPAL CHURCH

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 CHARLESTON, SC  
 SHEET 20 OF 27

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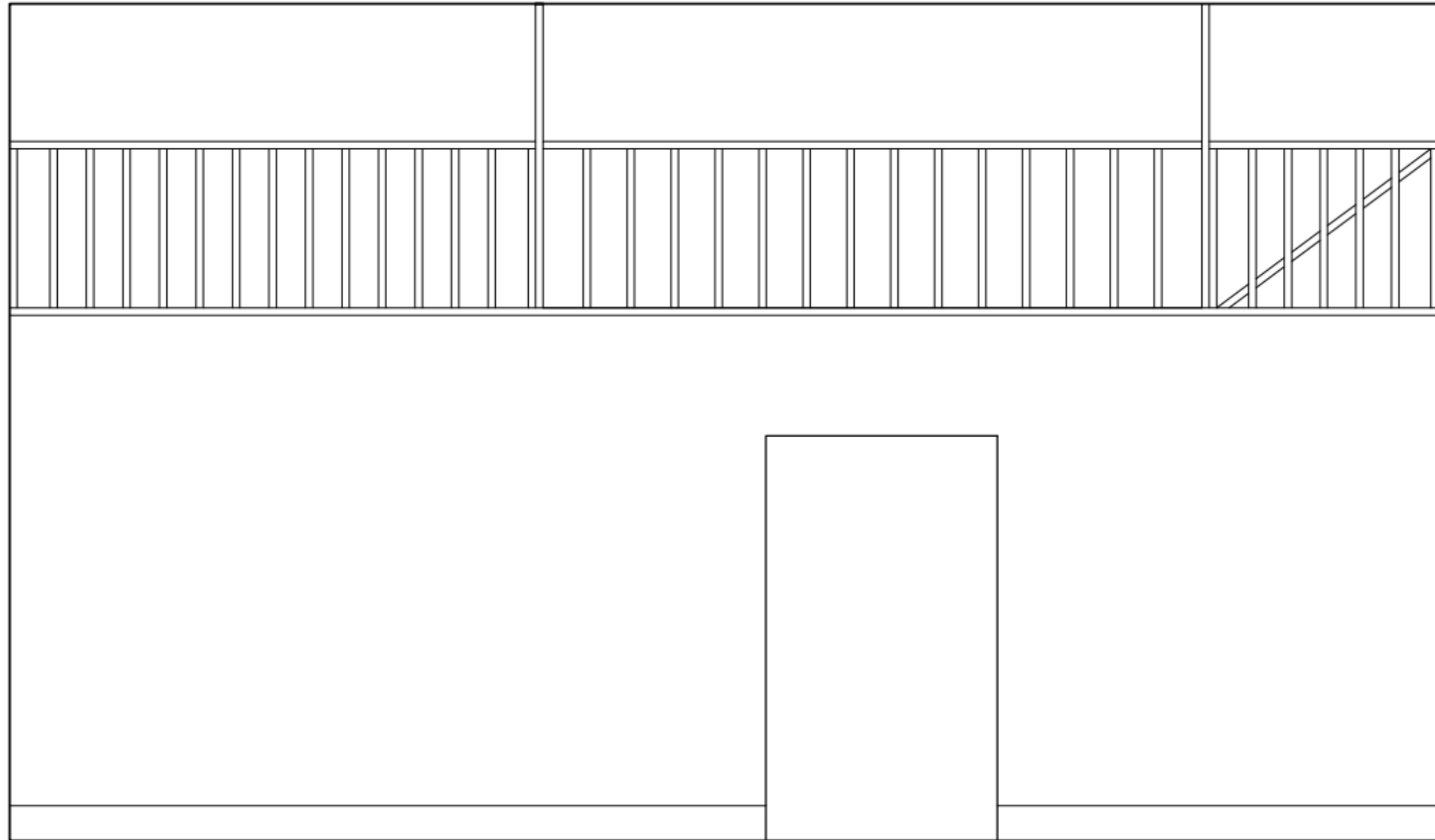


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 EDITED BY: JACOB MOSSBROOK

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HALLWAY SOUTH ELEVATION  
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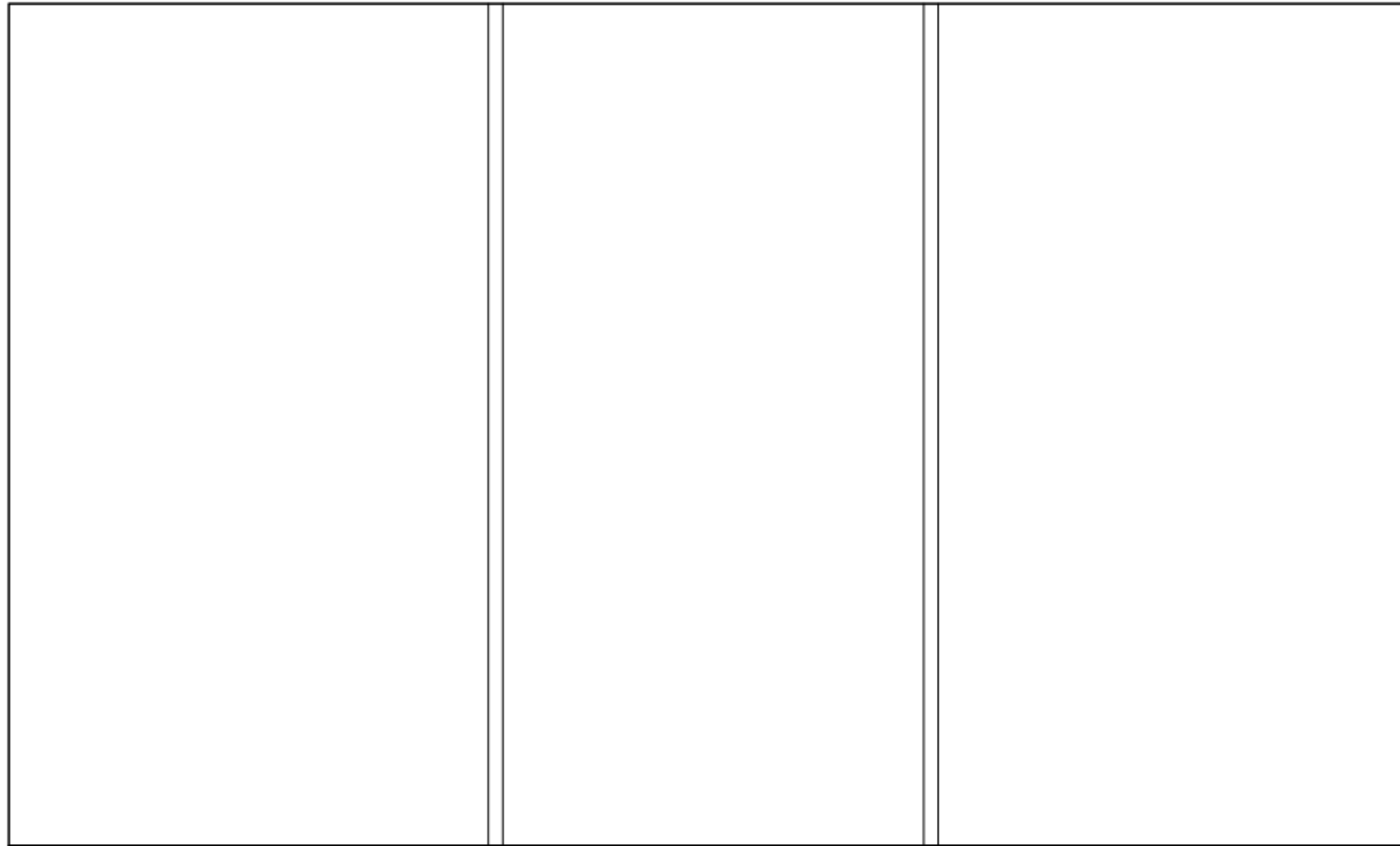
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HALLWAY WEST ELEVATION  
 ST. JOHN'S REFORMED EPISCOPAL CHURCH

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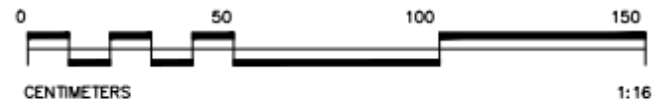
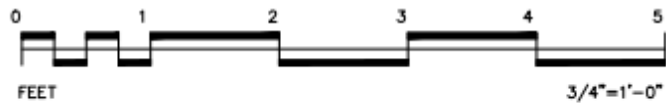
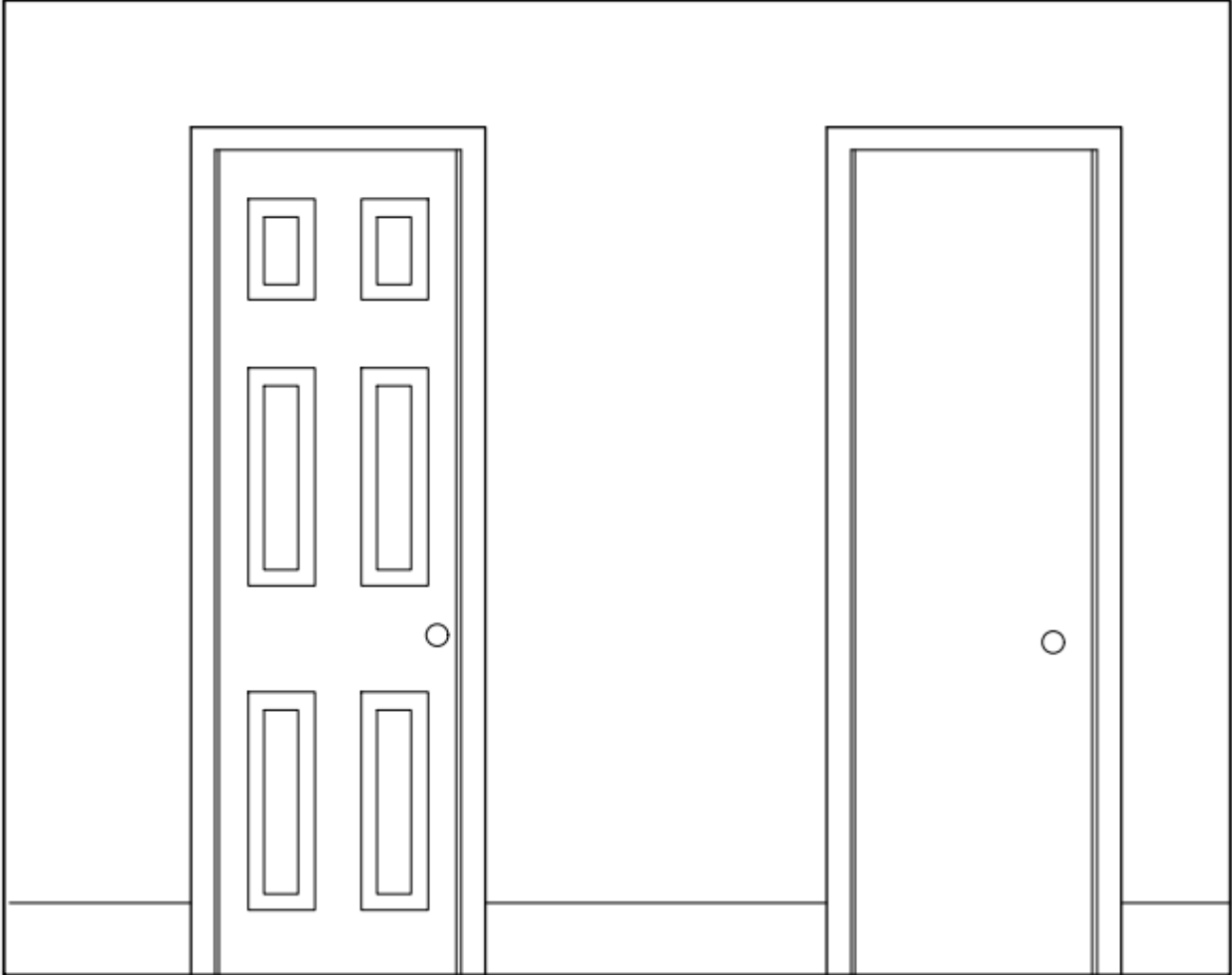
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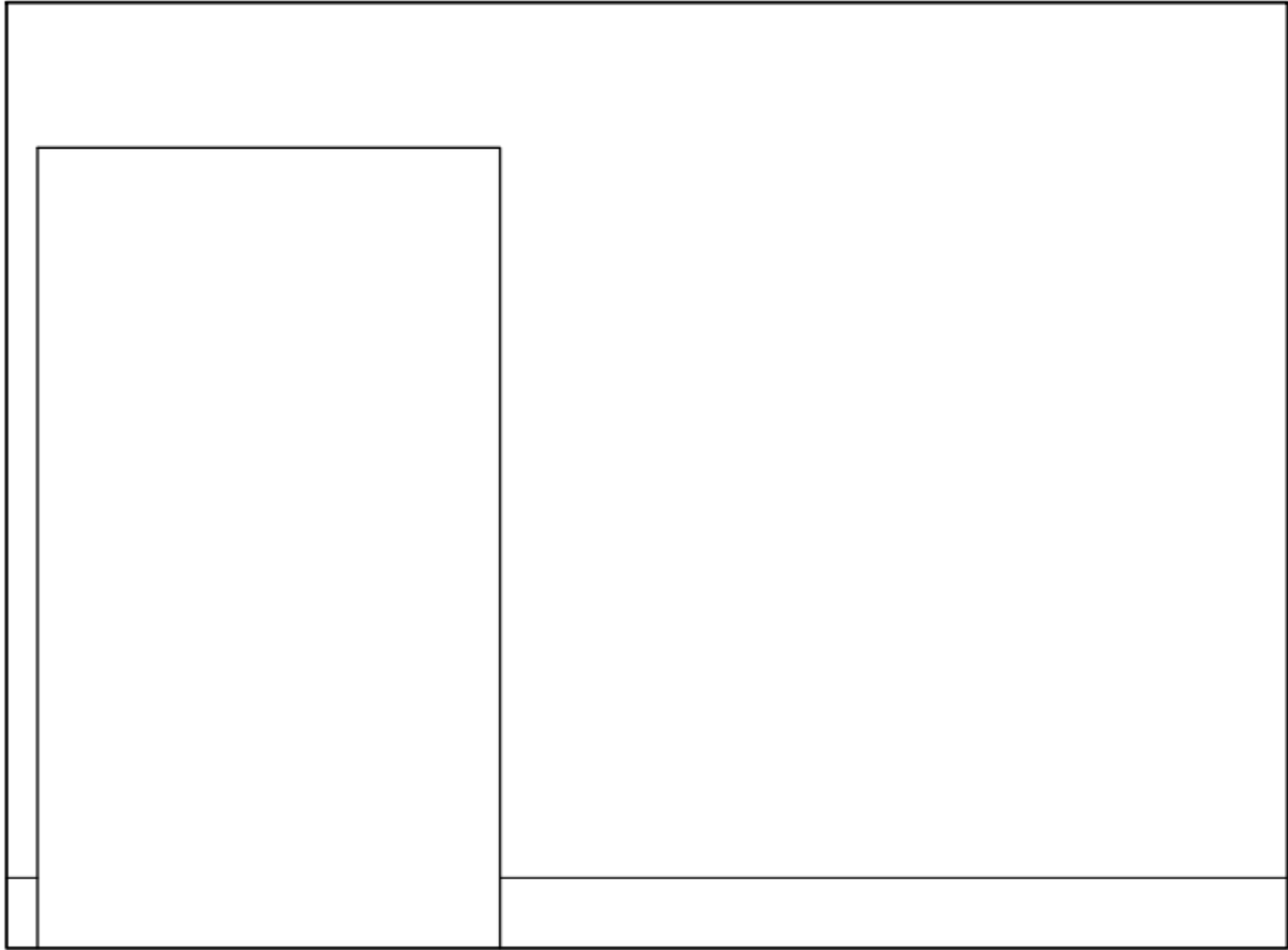
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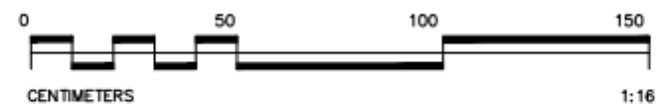
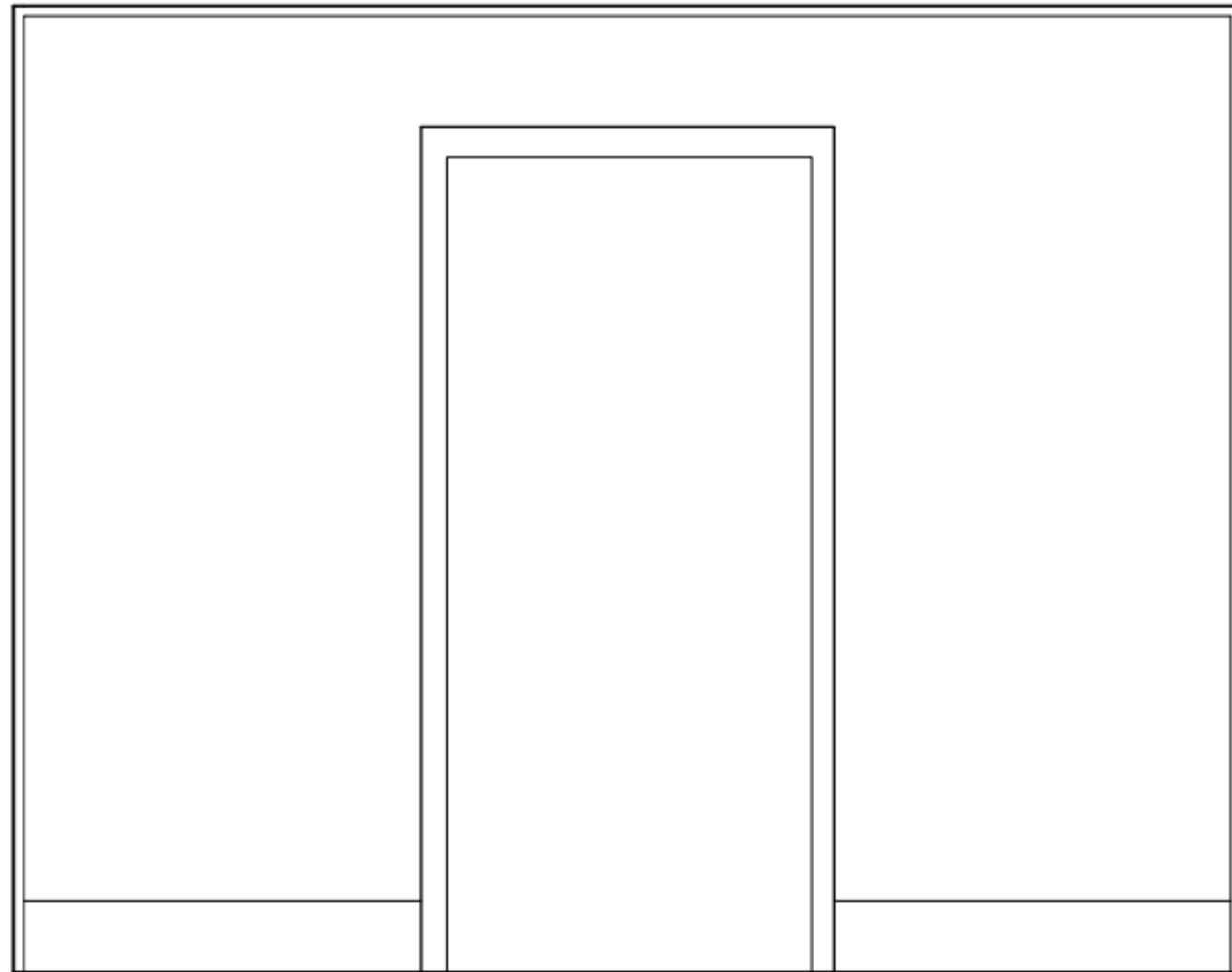
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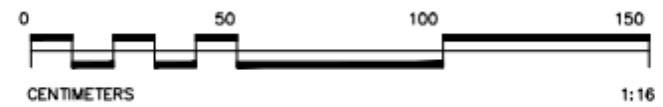
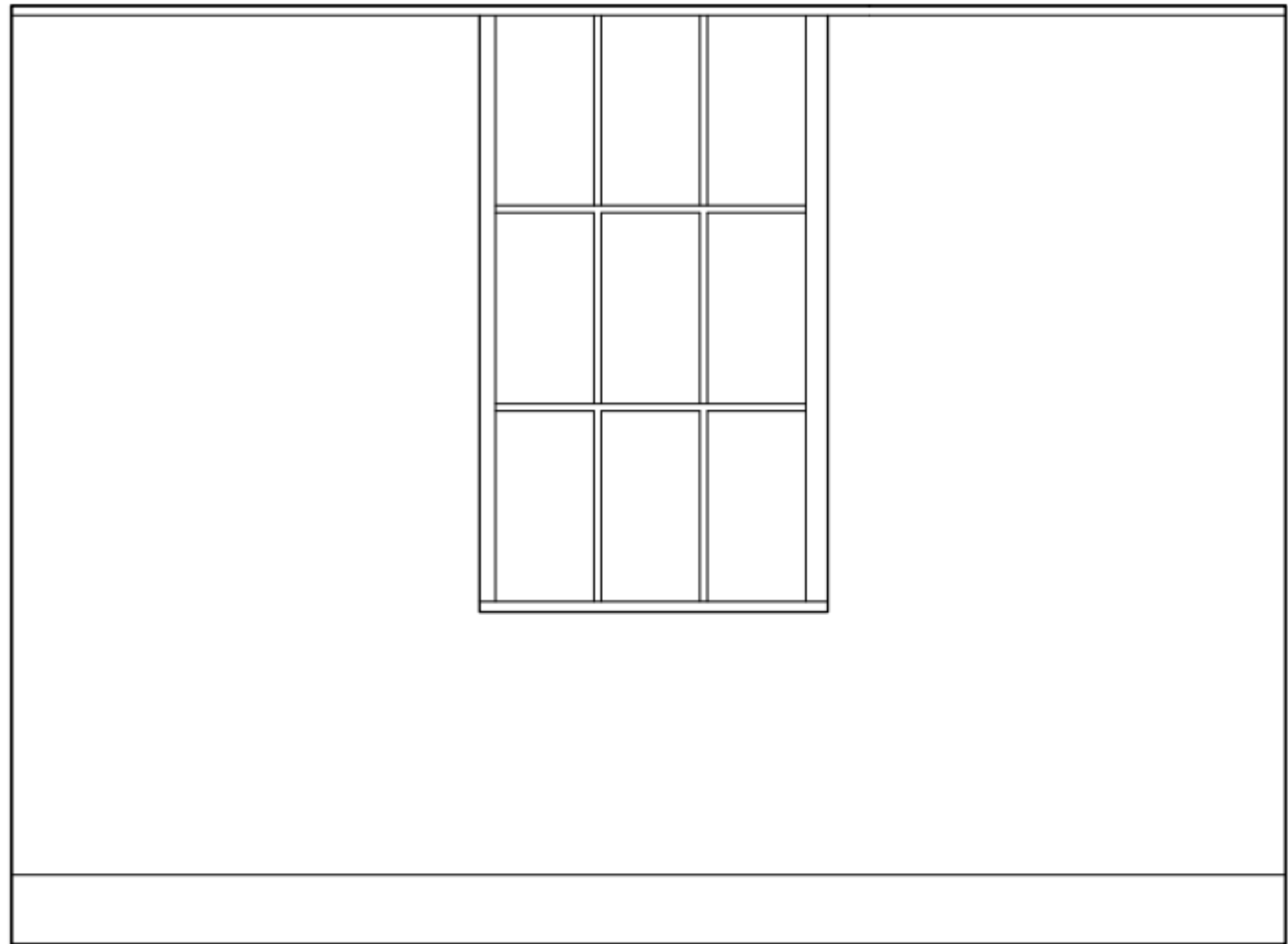
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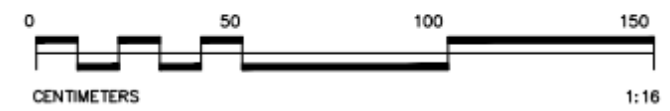
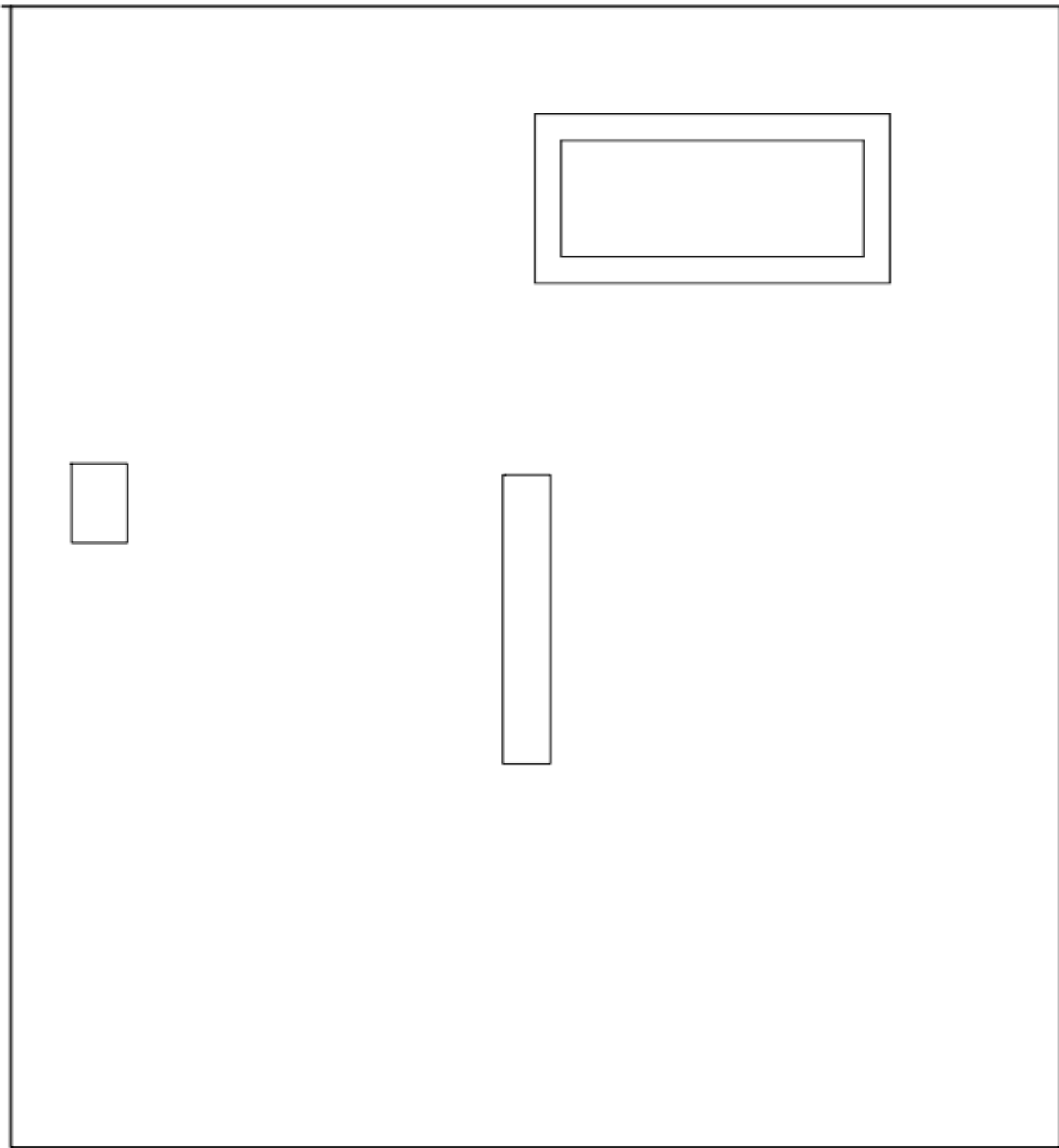


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## Appendix E: Laser Scan Screenshots

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St John's Ed Building North Exterior Facade



St John's Ed Building West Exterior Facade



St John's Ed Building South Exterior Facade



St John's Ed Building East Exterior Facade

## Appendix F: Photo Documentation by Madison Pinion

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**Figure 1.** East Elevation, Anson St.



**Figure 2.** North East Elevation, Anson Street.



**Figure 3.** South East Elevation, Anson Street.



**Figure 4.** Partial South Elevation.



**Figure 5.** South East Elevation from the corner of Anson and George Streets.



**Figure 6.** South Elevation.



Figure 7. South Elevation, George Street.



**Figure 8.** South elevation.



**Figure 9.** South Election, 4 and 2 George Street.



**Figure 10.** West Elevation Alley.



**Figure 11.** East Elevation.



**Figure 12.** East Elevation from porch of Parishioners Hall.



**Figure 13.** Cupola Detail from North East Corner, Anson Street.



**Figure 14.** South Elevations of the Education Building and Parishioners Hall from the corner of George and Anson Streets.



**Figure 15.** East elevation of Education Building and South Elevation of Parishioners Hall.



**Figure 16.** East elevation of single house.



**Figure 17.** North East elevation of single house.



**Figure 18.** East elevation of single house.



**Figure 19.** South elevation of single house.



**Figure 20.** Polaroid Compilation of Education Building and Parishioners Hall (Single House), 2026, Black and White film, Polaroid Sun 600 LMS Camera.



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