



UNITED STATES DEPARTMENT OF THE INTERIOR
Office of Archeology and Historic Preservation
Washington, D.C. 20240

Form Approved
OMB No. 42-R17

**HISTORIC PRESERVATION CERTIFICATION
APPLICATION — PART 1**

(Pursuant to the Tax Reform Act of 1976)

Instructions: Applicant should read the instructions carefully before completing application. No Certification may be made unless a completed application form has been received (P.L. 94-455). Use typewriter or print clearly in dark ink to complete the application form. If additional space is needed to complete Part 1, use the reverse side or a separate plain sheet of paper clearly indicating the owner's name and mailing address. Part 1 of this application may be completed and sent to the appropriate State Historic Preservation Officer at any time during the year, and may be sent separately or with Part 2.

PART 1 EVALUATION OF SIGNIFICANCE

1. NAME OF PROPERTY:

Address of property: Street 241 East Bay St.
City Charleston County Charleston State S. Carolina Zip Code 29401
Name of historic district in which property is located: Charleston "Old and Historic District"

2. DESCRIPTION OF PHYSICAL APPEARANCE:

(see instructions for map and photograph requirements—use reverse side if necessary)

See attached sheets.

3. STATEMENT OF SIGNIFICANCE:

(use reverse side if necessary)

See attached sheet.

Date of construction (if known): Between 1861 & 1872 ☒ Original site ☐ Moved Date of alterations (if known): _____

4. NAME AND MAILING ADDRESS OF OWNER:

Name Street Brothers Inc.
Street 235 East Bay St
City Charleston State S. C. Zip Code 29401
Telephone Number (during day): Area Code 803 - 577-5820

I hereby attest that the information I have provided is, to the best of my knowledge, correct, and that I am owner of the property described above.

Signature Anne S. Lantz, Secretary & Treasurer Date 12/11/81

For office use only

The structure described above is included within the boundaries of the National Register historic district and ☐ contributes ☐ does not contribute to the character of the district.

The structure ☐ appears ☐ does not appear to meet National Register Criteria for Evaluation (36 CFR 60.6) and ☐ will likely ☐ will not be nominated to the National Register in accord with the Department of the Interior procedures (36 CFR 60).

The structure is located in a district which ☐ appears ☐ does not appear to meet National Register Criteria for Evaluation (36 CFR 60.6), ☐ will likely ☐ will not be nominated to the National Register in accord with Department of the Interior procedures (36 CFR 60), and ☐ appears ☐ does not appear to contribute to the character of said district.

Signature _____ Date _____
State Historic Preservation Officer

This property has been evaluated according to the criteria and procedures set forth by the Department of the Interior (36 CFR 67) and, if subject to depreciation under section 167 of the Internal Revenue Code of 1954,

☐ is hereby certified a historic structure.

☐ does not contribute to the character of the historic district and does not merit certification as a historic structure. Reasons given on the attached sheet.

Signature _____ Date _____
Keeper of the National Register

241 East Bay Street, Charleston, S.C. 29401

Owner: Street Brothers Inc., 235 East Bay Street, Charleston, S.C. 29401

Part 1, No. 2. Description of Physical Appearance.

The building at 241 East Bay Street is two and one-half stories, constructed of Charleston grey brick and a type of orange-red brick used in the period immediately after the Civil War. The exterior of the masonry is stuccoed and punctuated at various points with washers and bolts of earthquake rods, a legacy of the great earthquake of 1886. The gable roof is covered with tin with standing seams. The four dormers on the north slope of the roof have small gable roofs of tin, standing seams, and are faced with tin on the sides. The dormers have wooden pediments and wooden window frames containing double-hung sashes with 6/6 lights. Gable ends of 19th century Charleston buildings traditionally had a short pilaster on either flank, extending from the cornice to the rake of the gable. At 241 East Bay the spaces for the pilasters were provided, but the brickwork was not raised to form true pilasters (see photograph No. 1). The gable ends have simple cornices of stuccoed brick, which continue along the tops of the (suggested) pilasters. The East Bay Street facade has a corbelled cornice, with returns, below the gable end; brick cornices of fillet and ovolo moldings, stuccoed, over the windows; and a stuccoed brick belt course of fillet & fascia moldings, between the first and second levels. The facade has a tripartite window centered in the gable end, three single windows on the second level and a double door, flanked on the left by a single window and on the right by a single door which was originally a window. The north and south sides of the building have corbelled brick cornices, stuccoed, with returns below the (suggested) pilasters of the rear gable end. The rear gable end has a single window, centered. Below it are a single window, off center to the right, on the second level and a single door centered on the first level, where formerly there was an oversized opening. Evidence of a rear extension with a low pitched gable roof, is visible in the stucco of the rear wall. The north side of the building has three single windows, regularly spaced, on the second level. The south side of the building has five single windows, regularly spaced, on the second level, and three single windows, irregularly spaced, on the first level. Window frames and sills are wood. Windows have double hung sash with 6/6 lights.

Changes to the building (by previous owners) have included the replacement of the original front double doors and transom, with smaller, out of scale double doors, and a blank transom; replacement of a single window with a single door on the right side of the facade; closing and relocation of windows on the first level, south side of the building; closing of a single window on the north side of the building, second level; replacement of nearly all window sashes with newer sashes in the same style and configuration; replacement of an oversized door opening on the rear of the building with a single door opening; removal of chimneys on the south slope of the roof; and demolition of a one story rear extension.

Changes to the interior of the building (by previous owners) included

241 East Bay Street, Charleston, S.C. 29401

Owner: Street Brothers Inc., 235 East Bay Street, Charleston, S.C. 29401

Part 1, No. 2. Description of Physical Appearance (Continued)

the gutting of the interior by removal of all interior partitions, the staircase and ceiling coverings on the first two floors. A new staircase, roughly finished, was built in the northeast corner, leading from the single door entrance on the front to the second floor. A retractable ladder stair was installed between the second and third floors. New partitions were built, enclosing the new staircase and separating the first floor into two rooms. The new partitions are faced with sheetrock, with no additional finish, on one side only. The ceiling of the first floor was left unfinished, revealing the substantial joists and other framing members. The exposed framing of the second floor ceiling was overlaid with furring for a new ceiling covering, never applied. The wooden framework (joists, rafters etc.) has circular saw marks and lath marks, and is put together with wooden pegs, mortise-and-tenon units, and square and round nails. The half story retains old stucco over machine cut lath, but in a deteriorated condition. The brick walls were stuccoed on the first and second levels, presumably after the gutting of the building. The flooring on the first level was replaced with a concrete slab. The second level retains old pine floor boards, with circular saw marks, in a small area to the front; the remainder of the flooring has been replaced with plywood flooring. The half story retains old pine flooring. Original wooden window surrounds, with simple molding, remain on the second and garret levels. A few original six-light sashes remain; replacements are in the same style and configuration as the original. The half story retains narrow baseboards, beaded along the top, and narrow, beaded molding around the openings for the dormer windows.

241 East Bay Street, Charleston, S.C. 29401

Owner: Street Brothers Inc., 235 East Bay Street, Charleston, S.C. 29401

Part 1, No. 3. Statement of Significance.

Two-forty-one East Bay Street was built sometime after the great fire of 1861, which burned a wide path of destruction across the Charleston peninsula. The present building was constructed by 1872, when it was depicted on C. Drie's "Bird's Eye View of the City of Charleston." Some of the bricks in the interior walls are scorched, indicating they were probably salvaged from the ruins of the 1861 fire. The builder also used an orange-red brick commonly employed locally in the late 1860s and 1870s. The building is in the local vernacular style, a continuation of the tradition of the gable-end, one-room-wide, "single house" employed by Charleston builders from the early Colonial period to the early part of the 20th century. The building is located within the Charleston "Old and Historic District" which is listed in the National Register of Historic Places.



UNITED STATES DEPARTMENT OF THE INTERIOR
Office of Archeology and Historic Preservation
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Form Approved
OMB No. 42-R176

**HISTORIC PRESERVATION CERTIFICATION
APPLICATION — PART 2**

(Pursuant to the Tax Reform Act of 1976)

Instructions: Applicant should read the instructions carefully before completing application. No Certification may be made unless a completed application form has been received (P.L. 94-455). Use typewriter or print clearly in dark ink to complete the application form. If additional space is needed to complete Part 2, attach additional blank sheets. Part 2 of this application may be completed and sent to the appropriate State Historic Preservation Officer at any time during the year and may be sent separately or with Part 1.

Part 2 DESCRIPTION OF REHABILITATION

1. NAME OF PROPERTY:

Address of property: Street 241 East Bay St
City Charleston State S.C. Zip Code 29401

If located in National Register historic district, local or State designated district, specify: _____

2. DATA ON EXISTING STRUCTURE:

Date of construction: Between 1861 and 1872 Existing floor area: 1,925 sq. feet
Original use: Commercial/residential
Type of construction: Brick, stuccoed. Wood interior framing

3. DATA ON REHABILITATION PROJECT:

Project starting date (est.): 1/15/82 Project completion date (est.): May 15, 1982
Estimated cost of rehabilitation: \$160,000. Proposed use: Office, storage.

Number of housing units to be created (if applicable): NA

Has the property received Federal or State financial assistance? ☐ yes ☒ no

If yes, specify source: _____

Are architectural plans and specifications available for review? ☒ yes ☐ no

Architect's or developer's name and address: O. Douglas Boyce & Associates, Architects
145 King St., Suite 213, Charleston, S.C. 29401
Telephone Number: (803) 577-9949

4. DETAILED DESCRIPTION OF REHABILITATION/PRESERVATION WORK—includes site work, new construction, alterations, etc. Complete blocks below

NUMBER

1

Architectural feature Environment

Approximate date of feature C. 1861-72

Describe existing feature: Existing structure has mass, scale, materials and architectural style and details which are compatible with other historic structures in the "Old and Historic District" of Charleston.

Describe work and impact on existing features

Existing mass, scale, materials (stuccoed brick, tin roof) and stylistic motifs (19th century classical details on evolved "single house" structure), to be retained. New fence only new construction on exterior.

Photo no. 1-4 Drawing no. 1

NUMBER

2

Architectural feature Parking lot & fence.Approximate date of feature 1970s.

Describe existing feature: Existing parking lot with asphalt paving, some existing plantings, low fence of metal posts and chains.

Photo no. 1-4 Drawing no. 1,4

Describe work and impact on existing features Existing plantings to be augmented by new plantings & trees. Post & chain fence to be removed and asphalt patched. New fence to be erected, with 16-inch masonry piers with corbelled caps, stuccoed to match building, and sections of 3/4-inch steel pickets. Lights on inside face of piers to illuminate parking lot.

NUMBER

3

Architectural feature Drainage.

Approximate date of feature _____

Describe existing feature: No gutters on building.

Photo no. 1-4 Drawing no. 1,4

Describe work and impact on existing features: New aluminum half round guttering and four-inch diameter drainspouts, with concealed fastenings, to be installed, to drain into city sewer.

NUMBER

4

Architectural feature Service mast.

Approximate date of feature _____

Describe existing feature: Existing service on Guignard Street side of building, with obtrusive pipe and tangle of wires.

Photo no. 2 Drawing no. 4

Describe work and impact on existing features Existing service mast and meter to be removed. New service mast to be erected in less obtrusive place, on southwest corner of roof.

NUMBER

5

Architectural feature Structural Systems.Approximate date of feature c. 1861-1872

Describe existing feature: Original mid-19th century brick walls and wooden interior joists and rafters, all intact, with no structural weaknesses.

Photo no. 6-15 Drawing no. 3

Describe work and impact on existing features Collar beams in half story to be raised for additional ceiling height. Otherwise no change in structural systems.

Continuation sheets attached ☒ Yes ☐ No

Name and mailing address of owner:

Name Street BrothersStreet 235 East Bay StreetCity CharlestonState S.C.Zip 29401Telephone Number (during day): (803) 577-5820

I hereby apply for certification of rehabilitation work described above for purposes of Section 2124 of the Tax Reform Act of 1976. I hereby attest that the information I have provided is, to the best of my knowledge, correct, and that I am owner of the property described above.

Owner's Signature

Anne S. Lantz, Secretary & Treasurer Date 12/11/81

CONTINUATION SHEET

Historic Preservation Certification

Application — Part 2

Name of Property: _____

Address of Property: 241 East Bay Street, Charleston, S.C. 29401

Name of Owner: Street Brothers, Inc., 235 East Bay Street, Charleston, S.C. 29401

NUMBER

6

Architectural feature Masonry

Approximate date of feature c. 1861-1872

Describe existing feature Charleston or Carolina grey brick and post-Civil War orange-red brick, with lime-sand mortar, stuccoed. Stucco deteriorated in places.

Describe work and impact on existing features Brick to be repointed where necessary. Entire building to be restuccoed with mixture compatible with the existing, in appearance and texture.

Photo no 1-4 Drawing no 4

NUMBER

7

Architectural feature Roof

Approximate date of feature c. 1861-1872

Describe existing feature 19th century gable roof with four dormer windows on north slope and originally chimneys (now gone) on south slope. Existing tin roof with standing seams, painted red.

Describe work and impact on existing features Existing roof shape, dormers and tin roof to be retained. Tin roof to be repaired, cleaned and repainted in existing red color. New aluminum half round gutters and 4-inch diameter downspouts to be installed.

Photo no 1-4 Drawing no 4

NUMBER

8

Architectural feature Windows & doors

Approximate date of feature c. 1861-72 & later.

Describe existing feature Fenestration changed in past by changing of window to door in front, closing and relocation of windows on sides, changing large door opening to single door on rear.

Describe work and impact on existing features Fenestration to be made more regular on Guigrar street (south) side by closing of some asymmetrically placed windows and adding symmetrically placed on Single door, front, to be returned to window. Single door, rear (not original) to be replaced by window new rear door added to left, with four-paneled door in mid-19th century style.

Photo no 1-4 Drawing no 4

NUMBER

9

Architectural feature Front doorway

Approximate date of feature _____

Describe existing feature Original doors replaced at recent time with double doors of cheap material and out of scale. Transom blanked out.

Describe work and impact on existing features New wooden doors, paneled, more in scale with building, with multi-light, fixed glass transom above, to be added.

Photo no 1.5 Drawing no 4

NUMBER

10

Architectural feature Windows.Approximate date of feature c. 1861-72 & later.

Describe existing feature Original wooden window frames and sills remain. A few original double hung sashes, with six lights to a sash, remain. Majority of window sashes replaced at recent time with new. In

Photo no 10-13 Drawing no. 4 good condition but many missing lights.

Describe work and impact on existing features Existing frames and sashes to be retained, with missing lights replaced.

NUMBER

11

Architectural feature Interior woodworkApproximate date of feature c. 1861-72

Describe existing feature Interior gutted by previous owner. Surviving woodwork consists of window surrounds, with plain molding, on second and third levels, & baseboards on third level. Parts of surrounds missing on second level.

Photo no 10-15 Drawing no. _____

Describe work and impact on existing features Existing woodwork to be retained and restored where possible.

NUMBER

12

Architectural feature Interior plaster.Approximate date of feature Probably late 19th

Describe existing feature Old plaster on machine cut lath, found in half story (third level) in deteriorated condition due to roof leakage.

Photo no 12-15 Drawing no. 3

Describe work and impact on existing features Old plaster & lath had to be removed to study roof problems. Study determined that existing roof could be retained and repaired. Plaster to be replaced with sheetrock. Removal of plaster facilitates raising of ceiling in half story.

NUMBER

13

Architectural feature Interior plan.

Approximate date of feature _____

Describe existing feature Entire interior gutted by previous owners, including removal of all partitions, chimneys, stairs, etc. New stair, roughly finished, and stair ladder installed. New partitions faced with sheetrock, one side only, first floor.

Photo no 6-15 Drawing no. 2,3

Describe work and impact on existing features Existing stair, ladder stair and partitions to be removed. New major stair, serving all floors, to be built in rear. Second stair, required by fire code, to be spiral, 6' diameter, serving all floors. New partitions to be erected. Drop ceilings to be built on lower levels, raised ceiling on third.

NUMBER

14

Architectural feature Floors.Approximate date of feature c. 1861-72 & later.

Describe existing feature Existing concrete slab floor on first level, below grade. Part of old floor, front part of second level; remainder of plywood. Half story has old pine flooring except in former stair

Photo no 5,6 Drawing no. _____ location, now floored with plywood.
10-15

Describe work and impact on existing features Existing flooring on upper floors to be retained. Concrete slab on first floor to be elevated above grade with new poured concrete.

15

Architectural feature Mechanical Systems

Approximate date of feature _____

Describe existing feature: Building now has no heat, air conditioning or plumbing. Electrical system, completed on first floor only, is unconcealed.

Photo no. 5, 6, Drawing no. 1, 2
8

NUMBER

16

Architectural feature Fire safety

Approximate date of feature _____

Describe existing feature: Building now has one stair-case between floors.

Photo no. 10, Drawing no. 2
12

NUMBER

Architectural feature _____

Approximate date of feature _____

Describe existing feature:

Photo no. _____ Drawing no. _____

NUMBER

Architectural feature _____

Approximate date of feature _____

Describe existing feature:

Photo no. _____ Drawing no. _____

Continuation sheets attached: ☐ yes ☐ no

Name and mailing address of owner:

Name _____

Street _____

City _____

State _____

Zip _____

Telephone Number (during day): _____

I hereby apply for certification of rehabilitation work described above for purposes of Section 2124 of the Tax Reform Act of 1975. I hereby attest that the information I have provided is, to the best of my knowledge, correct, and that I am owner of the property described above.

Owner's Signature _____

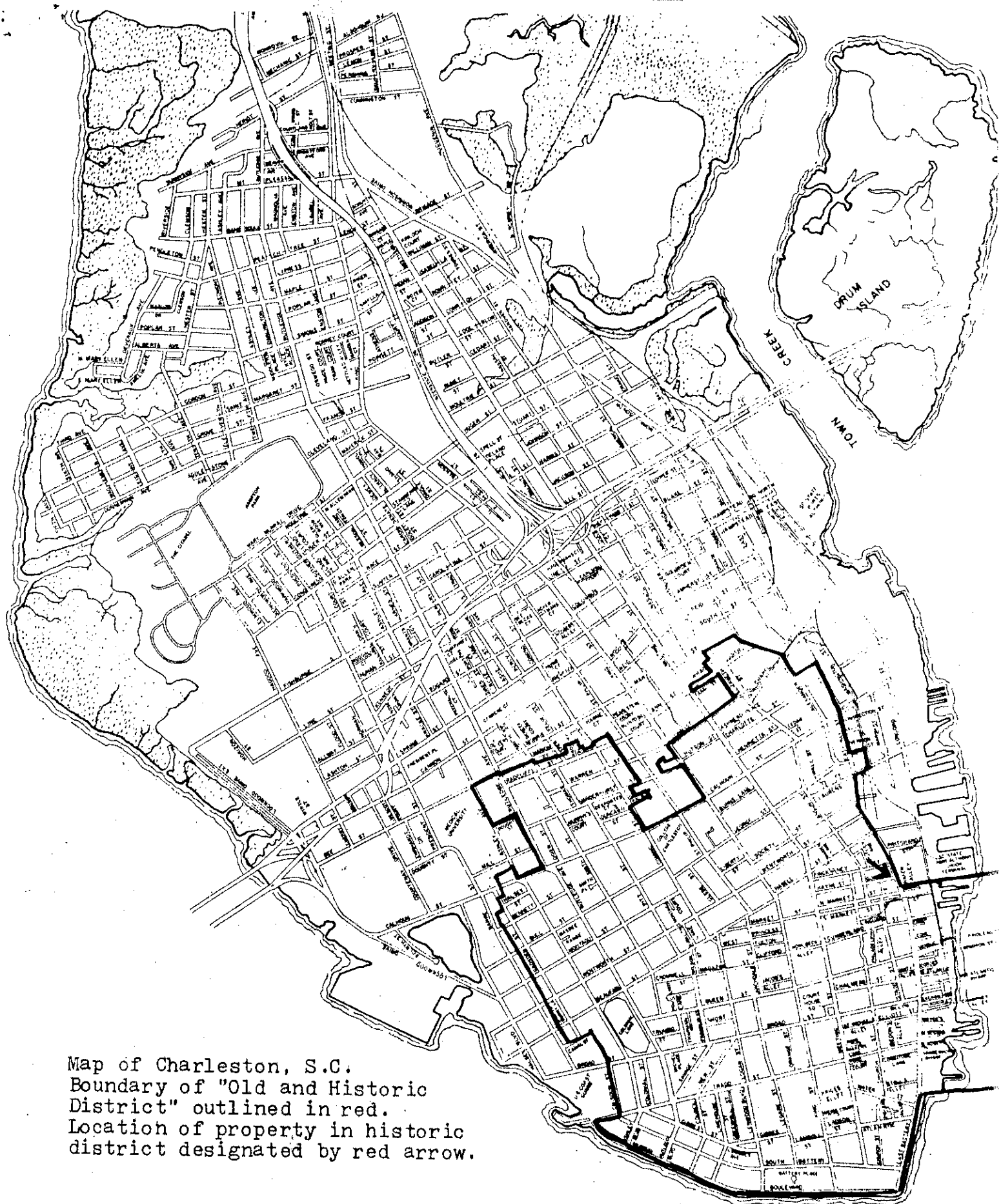
Date _____

Describe work and impact on existing features: Central heat and air conditioning system to be installed. Raised condensers to be on exterior, to rear of building. Hot water heater, other mechanical, to be located on second floor in separate room. Plumbing for bathrooms and kitchen to be installed. Bath and kitchen fixtures to be installed. Electrical system upgraded. Ducts, etc. to be concealed in new wall cavities.

Describe work and impact on existing features: Two sets of stairs, front and rear, to be built. Smoke alarm to be installed in trash room.

Describe work and impact on existing features:

Describe work and impact on existing features:



Map of Charleston, S.C.
Boundary of "Old and Historic
District" outlined in red.
Location of property in historic
district designated by red arrow.

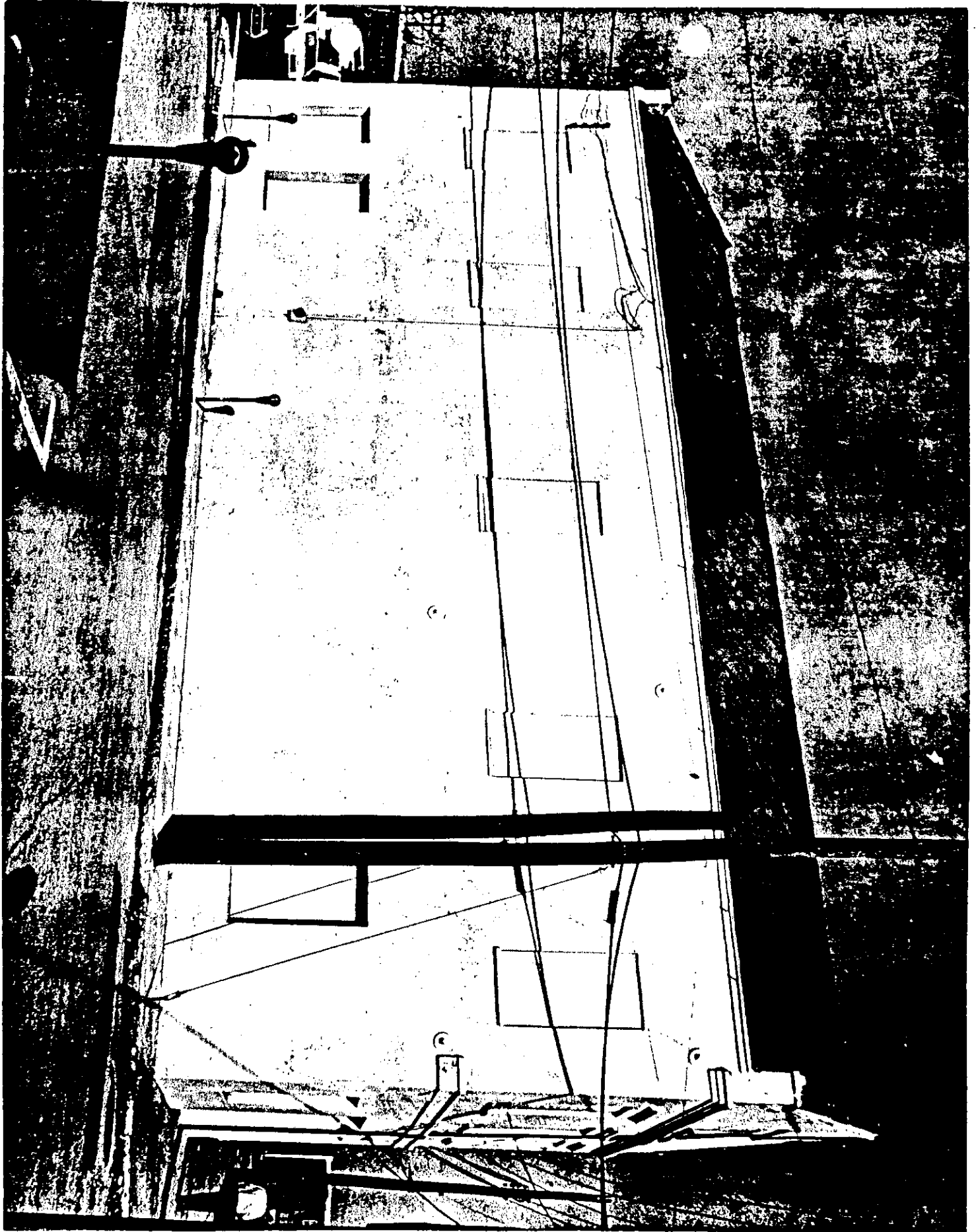


Photograph No. 1.
241 East Bay Street, Charleston, S.C. 29401
Owner: Street Brothers, Inc., 235 East Bay St., Charleston, S.C. 29401

East Bay Street facade showing fenestration, stuccoed brick detail,
also north elevation with stuccoed brick cornice, four dormer windows.

PHOTOGRAPH by
LOUIS SCHWARTZ
CHARLESTON, S. C.

File No. 111/125 M



Photograph No. 2.

241 East Bay Street, Charleston, S.C. 29401

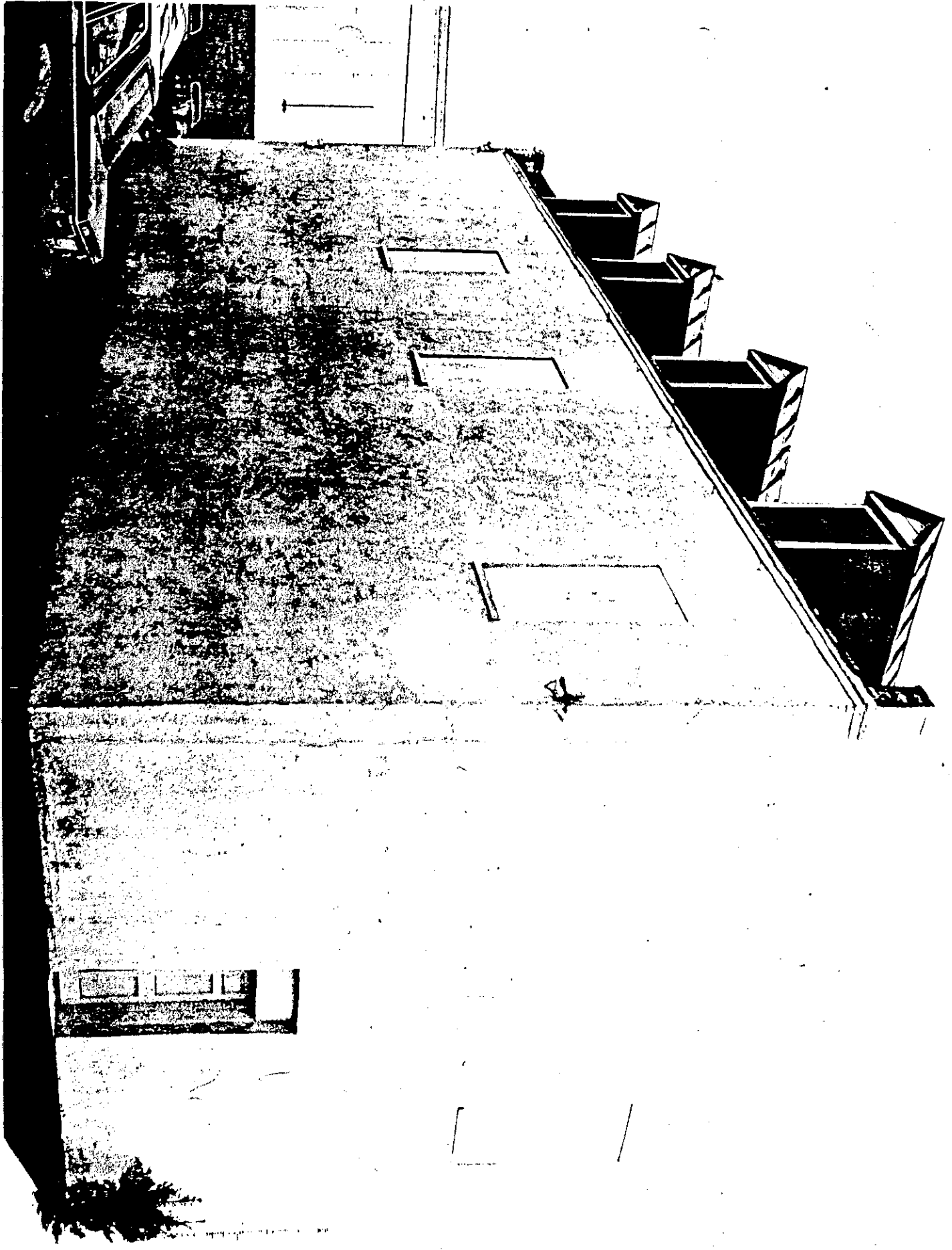
Owner: Street Brothers, Inc., 235 East Bay St., Charleston, S.C. 29401

Guignard Street elevation showing irregular fenestration, closed windows, stuccoed brick cornice and tin roof.

PHOTOGRAPH BY
LOUIS C. SEVARTZ

CHARLESTON, S.C.
11/123 N

File No.



Photograph No. 3.

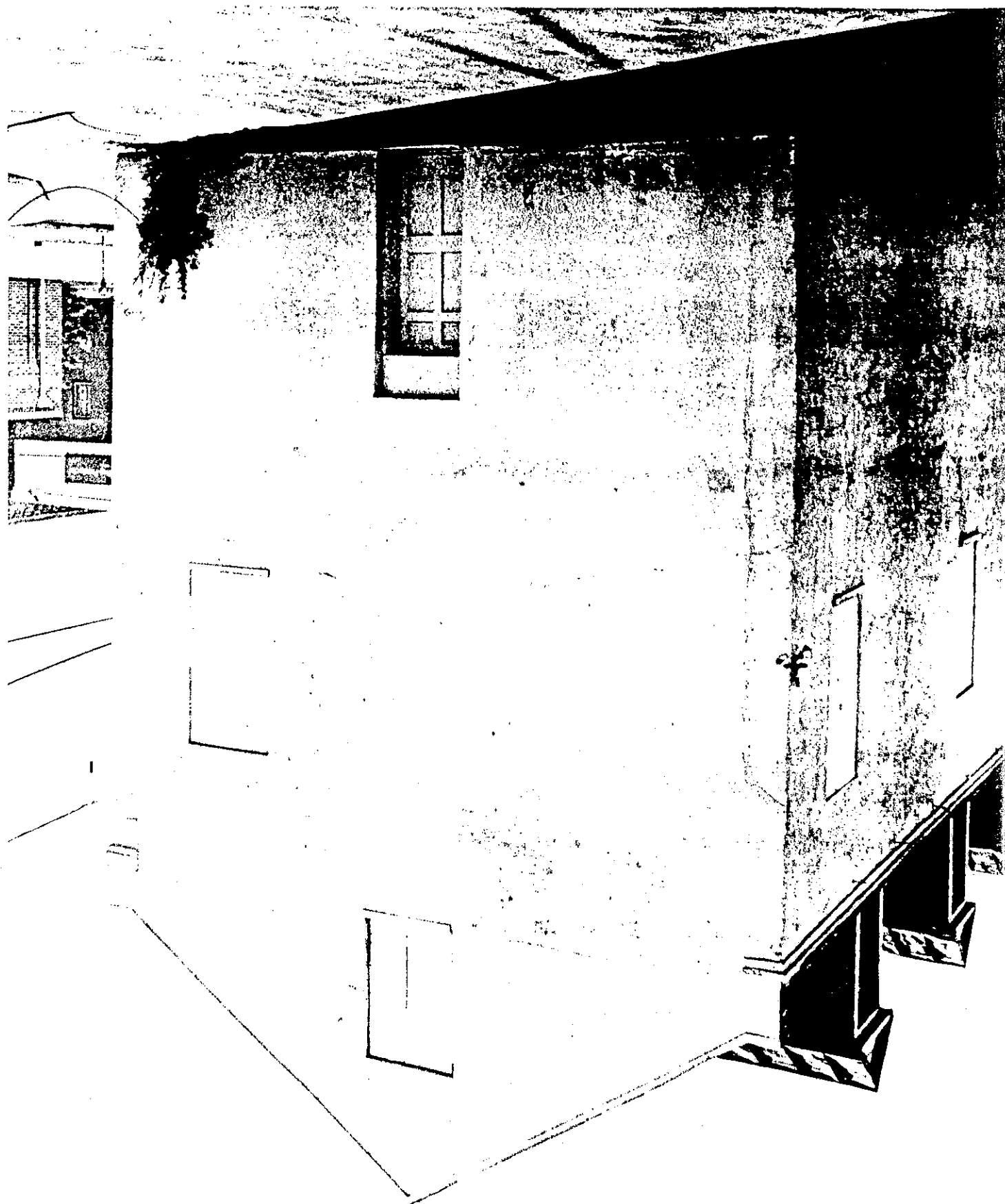
241 East Bay Street, Charleston, S.C. 29401

Owner: Street Brothers, Inc., 235 East Bay St., Charleston, S.C. 29401

Northwest corner of building showing north and west (rear) elevations, with fenestration, dormer windows, closed windows, parking lot.

PHOTOGRAPH by
LOUIS SCHWARTZ
CHARLESTON, S. C.

File No. ~~411-11230~~



Photograph No. 4.
241 East Bay Street, Charleston, S.C. 29401
Owner: Street Brothers, Inc., 235 East Bay St., Charleston, S.C. 29401

Rear of building showing gable end, stuccoed brick cornice returns,
fenestration, oversized door replaced by single door, parking lot.

PHOTOGRAPH BY
LOUIS GOODMAN
CHARLESTON, S. C.
File No. 1117123P



Photograph No. 5.

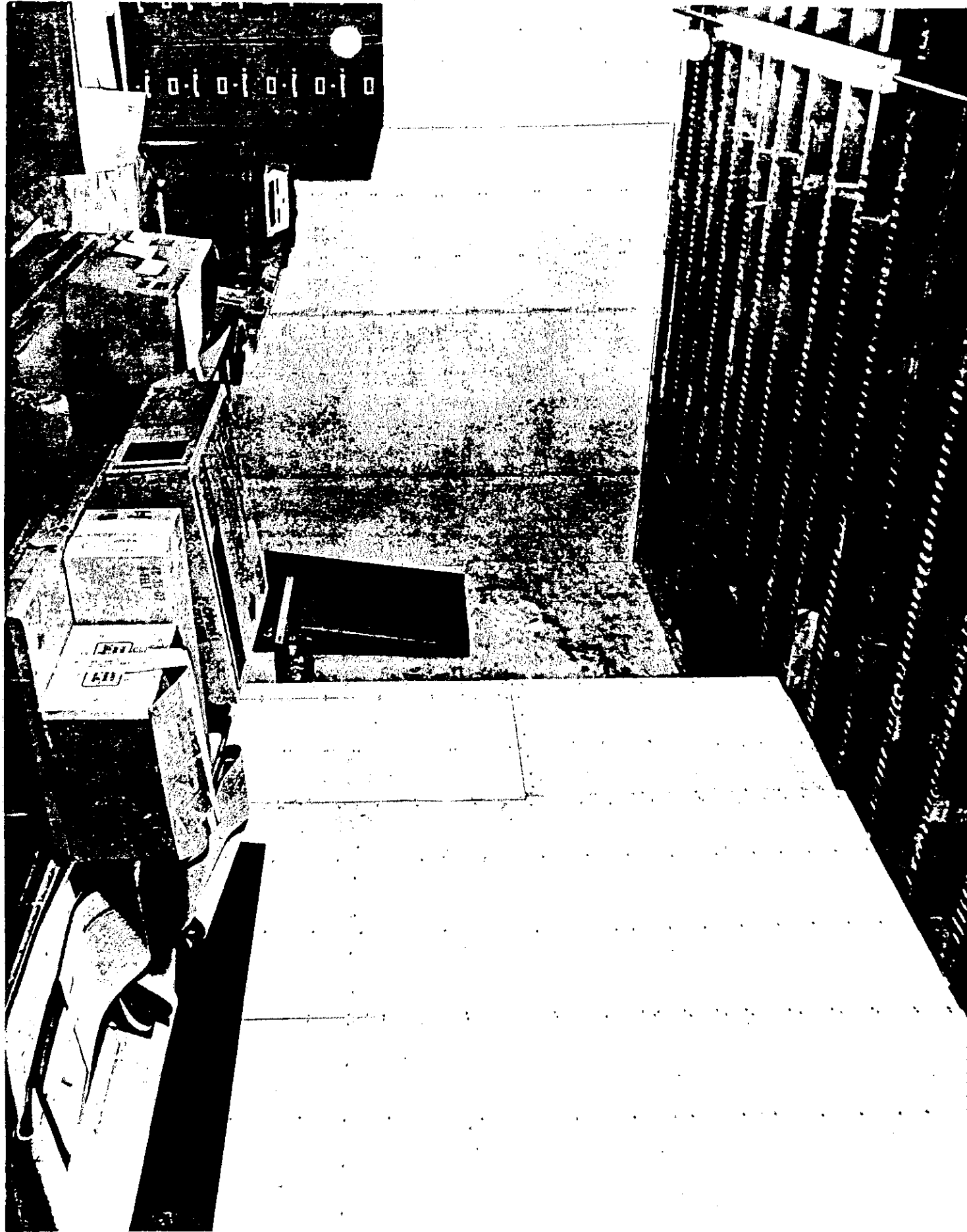
241 East Bay Street, Charleston, S.C. 29401.

Owner: Street Brothers, Inc., 235 East Bay St., Charleston, S.C. 29401.

Interior side of front entrance, showing present double doors (not original), closed transom, exposed electrical system.

PHOTOGRAPH by
LOUIS SCHWARTZ
CHARLESTON, S. C.

File No. 111/123 A



Photograph No. 6.

241 East Bay Street, Charleston, S.C. 29401

Owner: Street Brothers, Inc., 235 East Bay St., Charleston, S.C. 29401

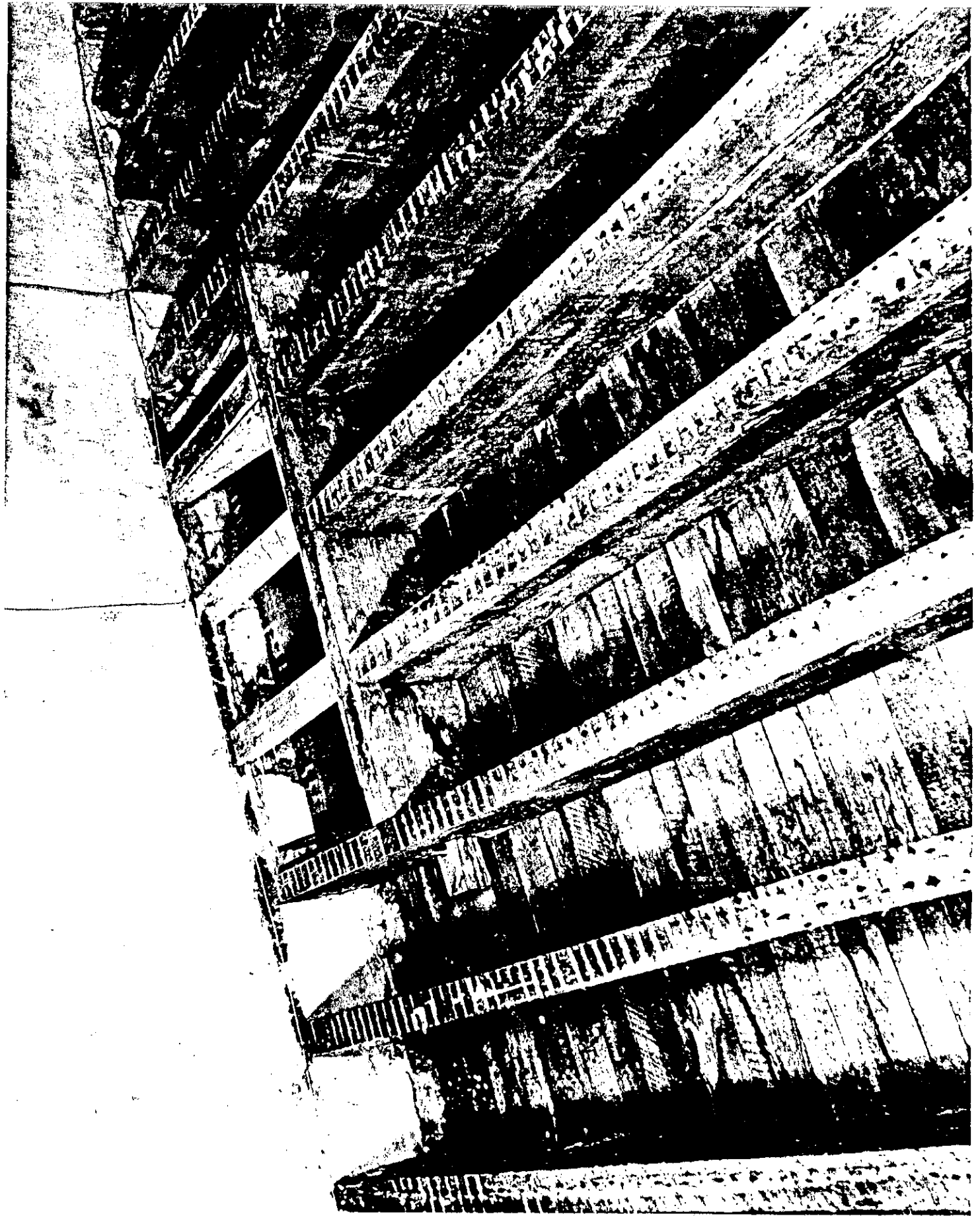
Interior of front room, first floor, showing exposed joists with lath marks, unconcealed electrical system, roughly finished partitions. Partition on right encloses stairway. Partition to rear divides first floor into two rooms.

PHOTOGRAPH BY
LOUIS SCHWARTZ

CHARLESTON, S. C.

File No.

411/123B



Photograph No. 7.

241 East Bay St., Charleston, S.C. 29401

Owner: Street Brothers, Inc., 235 East Bay St., Charleston, S.C. 29401

Ceiling of front room, first floor, showing exposed joists with circular saw marks and lath marks; framing for former chimney with mortice-and-tenon and pegged construction; flooring of old pine with circular saw marks.

PHOTOGRAPH BY
LOUIS SCHWARTZ
CHARLESTON, S. C.

File No. 111-11238

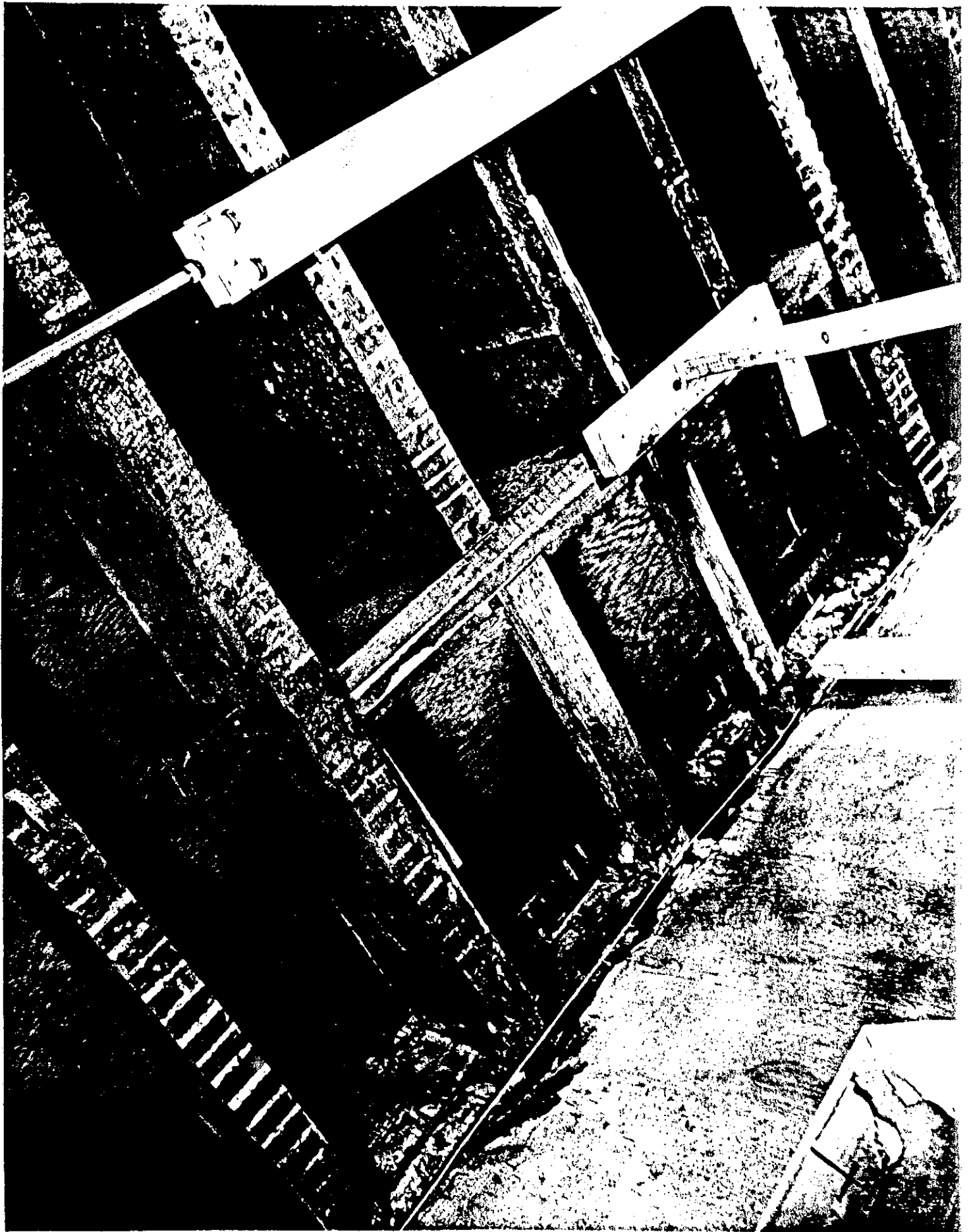


Photo No. 8.

241 East Bay Street, Charleston, S.C. 29401

Owner: Street Brothers, Inc., 235 East Bay St., Charleston, S.C. 29401

Ceiling of rear room, first floor, showing exposed joists with circular marks and lath marks; framing of former chimney with mortice-and-tenon, pegged construction; un concealed electrical system.

PHOTOGRAPH by
LOUIS SCHWARTZ
CHARLESTON, S. C.

File No. 111/1236



Photo No. 9.

241 East Bay Street, Charleston, S.C. 29401

Owner: Street Brothers, Inc., 235 East Bay St., Charleston, S.C. 29401

Ceiling of second floor, showing exposed joists with circular saw marks and lath marks, recently applied furring; old pine floor boards of half story, showing circular saw marks; interior brickwork, with some scorched bricks, indicating probably salvaged from ruins of 1861 fire.

PHOTOGRAPH by
LOUIS F. WARTZ
CHARLESTON, S. C.

File No. 9111/11231



Photo No. 10.

241 East Bay Street, Charleston, S.C. 29401.

Owner: Street Brothers, Inc., 235 East Bay St., Charleston, S.C. 29401.

Interior of second floor, ^{showing} ~~whesing~~ exposed joists and furring, ladder stair, original woodwork and six light sashes (replacements of original), plywood flooring.

PHOTOGRAPH BY
LOUIS GUTZWARTZ
CHARLESTON, S. C.

File No.

911/123 6

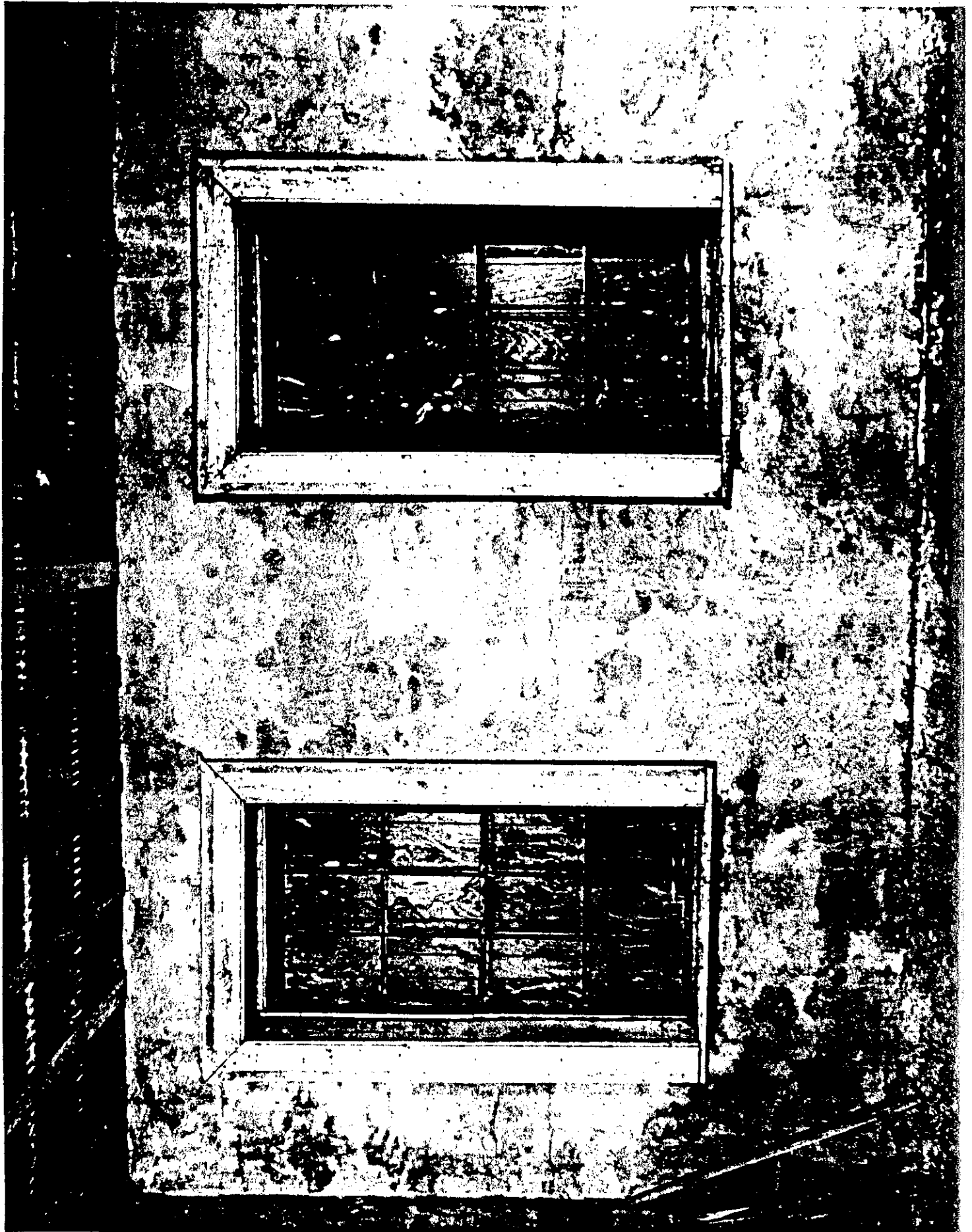


Photo No. 11.
241 East Bay Street, Charleston, S.C. 29401.
Owner: Street Brothers, Inc., 235 East Bay St., Charleston, S.C. 29401.

Interior, second floor, showing woodwork, windows. Sashes on left are original, sashes on right are recent replacements.

PHOTOGRAPH BY
LOUIS SCHWARTZ

CHARLESTON

File No. 1119123 ✓



Photo No. 12.

241 East Bay Street, Charleston, S.C. 29401.

Owner: Street Brothers, Inc., 235 East Bay St., Charleston, S.C. 29401.

Interior, half story, showing old plaster on machine cut lath (since removed), woodwork, old pine flooring, ladder stair, dormer recesses and single window of rear gable end.

PHOTOGRAPH BY
LOUIS STERNHARTZ
CHARLESTON, S. C.

File No. 411/123 F



Photo No. 13.

241 East Bay Street, Charleston, S.C. 29401.

Owner: Street Brothers, Inc., 235 East Bay St., Charleston, S.C. 29401.

Interior: Detail showing tripartite window of front gable, in half story. Window frame, woodwork original, sashes recently replaced.

PHOTOGRAPH by
LOUIS SCHWARTZ

CHARLESTON, S. C.

File No. 111/123



Photo No. 14.
241 East Bay Street, Charleston, S.C. 29401.
Owner: Street Brothers, Inc., 235 East Bay St., Charleston, S.C. 29401.

Interior, half story, showing dormer recess, window framing and woodwork,
old plaster on machine cut lath, marks of former partitions.

PHOTOGRAPH by
LOUIS SCHWARTZ
CHARLESTON, S. C.
File No. 1117123 H