

**MORTON NEEDLE**  
Company

April 10, 1997

Mr. Jonathan Poston  
Historic Charleston Foundation  
11 Fulton Street  
Charleston, SC 29401

Dear Mr. Poston:

Please be advised that Laura M. Waggoner has entered into a contract with Mr. Morton Needle to purchase Lot #15 Wraggborough Square. It is Ms. Waggoner's intention to build a single home on this lot. I am extremely pleased that Ms. Waggoner will participate in the continuing development of Wraggborough.

As on previous sales, you have the right of first refusal. Please consider this matter and respond to us as quickly as possible.

Thank you in advance for your continued consideration and co-operation.

Very truly yours,

MORTON NEEDLE CO.

  
Morton Needle

MN/dc



April 15, 1997

Mr. Morton Needle  
Morton Needle Company  
27 Vendue Range  
Charleston, SC 29401

Re: Lot 15 Wraggborough Square - Former Property of  
Historic Charleston Foundation

Dear Morton:

Thank you for your letter concerning the conveyance of Lot 15 Wraggborough Square to Ms. Laura M. Waggoner. As you know, Historic Charleston Foundation retains protective covenants which, in addition to other provisions, give us a right to repurchase the property under specified conditions. It is our decision not to exercise our right of repurchase at this time; we hereby waive this right for purposes of this sale only.

I am enclosing a copy of the protective covenants on this property which should be included in your deed of conveyance at the time of sale.

Historic Charleston Foundation welcomes Ms. Waggoner to the Wraggborough area. If our staff can be of any further assistance, please do not hesitate to contact us.

Sincerely,

Carter L. Hudgins  
Executive Director

MORTON -  
we look forward to working closely  
with ms WAGGONER as she develops plans  
for her new house.

CLH:tm

Enclosure

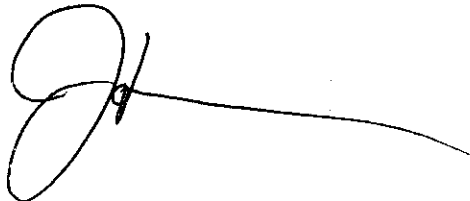
**Dufford / Young Architects**

samples/photos  
not on file

Date: 11/03/97  
To : Historic Charleston Foundation  
Jonathan Poston  
From : John Young  
Description: Lot 15, Wraggborough Lane  
(Waggoner-Moore Residence)  
Remarks: Jonathan,

Herewith is a sample of the brick the we  
are proposing. The photographs show  
this brick in place with sand mortar.

We look forward to your response.  
Thank you.

A handwritten signature in black ink, consisting of a large, stylized 'J' followed by a horizontal line extending to the right.

**Dufford / Young Architects**

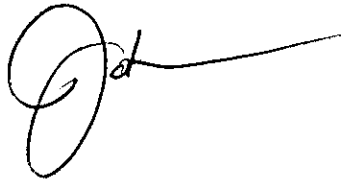
Date: 11/11/97  
To : Historic Charleston Foundation  
Jonathan Poston  
From : John Young  
Description: Lot 15, Wraggborough Lane  
(Waggoner-Moore Residence)  
Remarks: Jonathan,

Please find attached herewith the set of construction documents for the residence at Lot 15, Wraggborough Lane.

We have addressed all of your concerns from the preliminary submittal as discussed. However, my client feels very strongly regarding the "hyphen" portion of the building and wishes to maintain the continuity of the brick veneer on all facades.

I have included a revised North Elevation with the "hyphen" in stucco for you to review. Photos of the site have been included as well.

I will be happy to discuss this issue further with you as we are eager for a resolution in order to proceed with construction.  
Thank you.

A handwritten signature in black ink, appearing to be 'John Young', with a large loop and a long horizontal stroke extending to the right.

ALTERNATE NORTH ELEVATION

SCALE: 1/8"=1'-0"

2A  
A3





November 12, 1997

Mr. John Young  
Dufford/Young Architects  
143 Wentworth Street  
Charleston, SC 29401

Re: Lot 15, Wraggborough Lane

Dear John:

As I told you I think we can approve the brick with a slightly lighter tan mortar for the above mentioned house. However, I would remind you that we have not given final approval to the design for this house as we still have concerns about the hyphen between the main house and the "dependency". We will review the new set of plans over the next two weeks.

With best regards, I am

Jonathan H. Poston  
Director of Preservation

JHP:tm

December 3, 1997

Mr. John Young  
Dufford/Young Architects  
143 Wentworth Street  
Charleston, SC 294011

Re: Moore Residence - Wraggborough Square

Dear John:

Historic Charleston Foundation has reviewed the plans as submitted for this new residence, a property on which we hold covenants. The Chairman of our Easement Committee, Herbert DeCosta, has particularly highlighted the following suggestions (please come by and look at the plans):

1. Step back the top portion of the cap of the gates, more details shown on this plan as well as to raise the iron gate higher or at least make it slightly taller to be in better proportion with the gate posts.
2. Mr. DeCosta has also recommended a cornice detail for the dormer eaves and suggested that these be redrawn with the correct overhand from those shown in the dormer detail.
3. He is also concerned about the plywood panel molding on the section in the drawing E-6.

All-in-all he thought the plans were very good.

We still have a problem with the hyphen connecting the main portion of the dwelling to the smaller dependency type dwelling. This is something we would prefer to be changed to whitewashed brick, a brick of a different bond or type, or more preferably, a stucco hyphen addition. We will be happy to look at this more closely with you in the near future, as I assume we have not come to a consensus with that.

Mr. John Young  
December 3, 1997  
Page Two

Thank you for submitting these plans to us and we look forward to the final set prior to submitting this to the Board of Architectural Review.

With best regards, I am

Yours sincerely,

Jonathan H. Poston  
Director of Preservation

cc: Herbert DeCosta  
Jim Crow  
Charles Chase/Debbi Rhoad



**Dufford / Young Architects**

**Transmittal**

*moldy on side of  
dormer  
fascia*

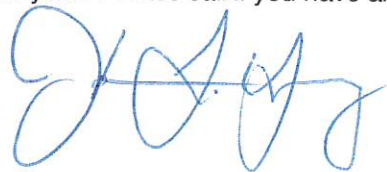
Date: 12/30/97  
To : Historic Charleston Foundation  
Jonathan Poston  
From : John Young  
Description: Lot 15, Wraggborough Lane  
(Moore Residence)  
Remarks: Jonathan,

Please find attached herewith detailed drawings showing the revisions as suggested in your letter dated December 16, 1997 (and as discussed subsequently at our meeting).

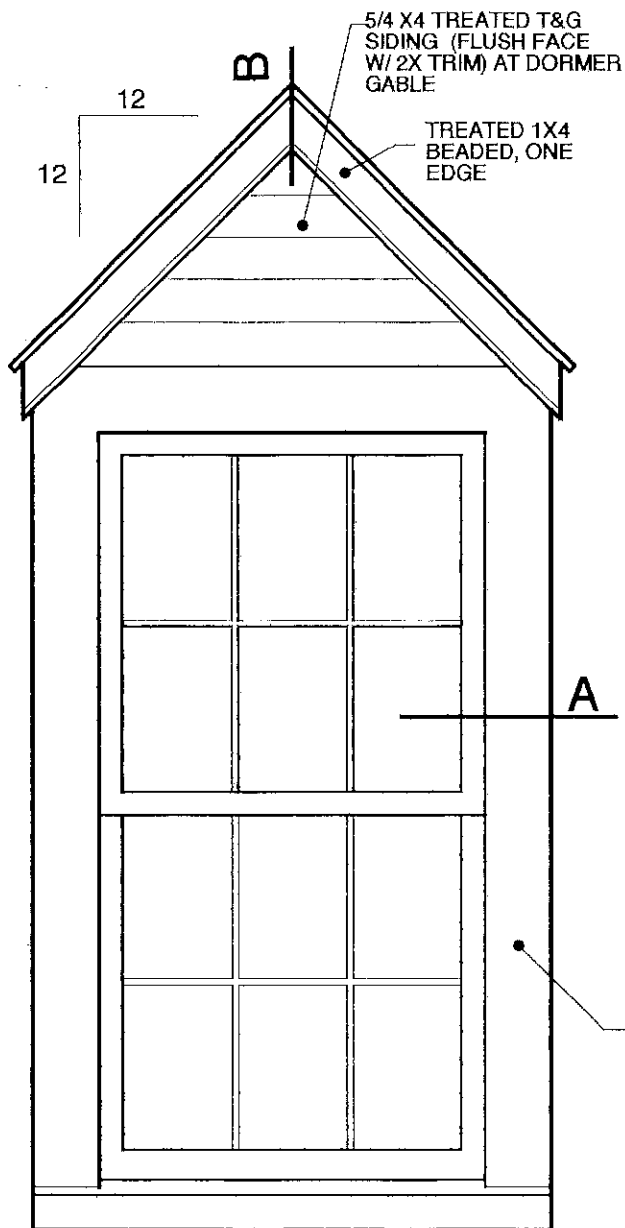
The revisions are as follows:

1. Revised trim at dormer gable.
2. Revised brick pier cap with higher gate.
3. Lime wash on brick at hyphen: see note on drawing.

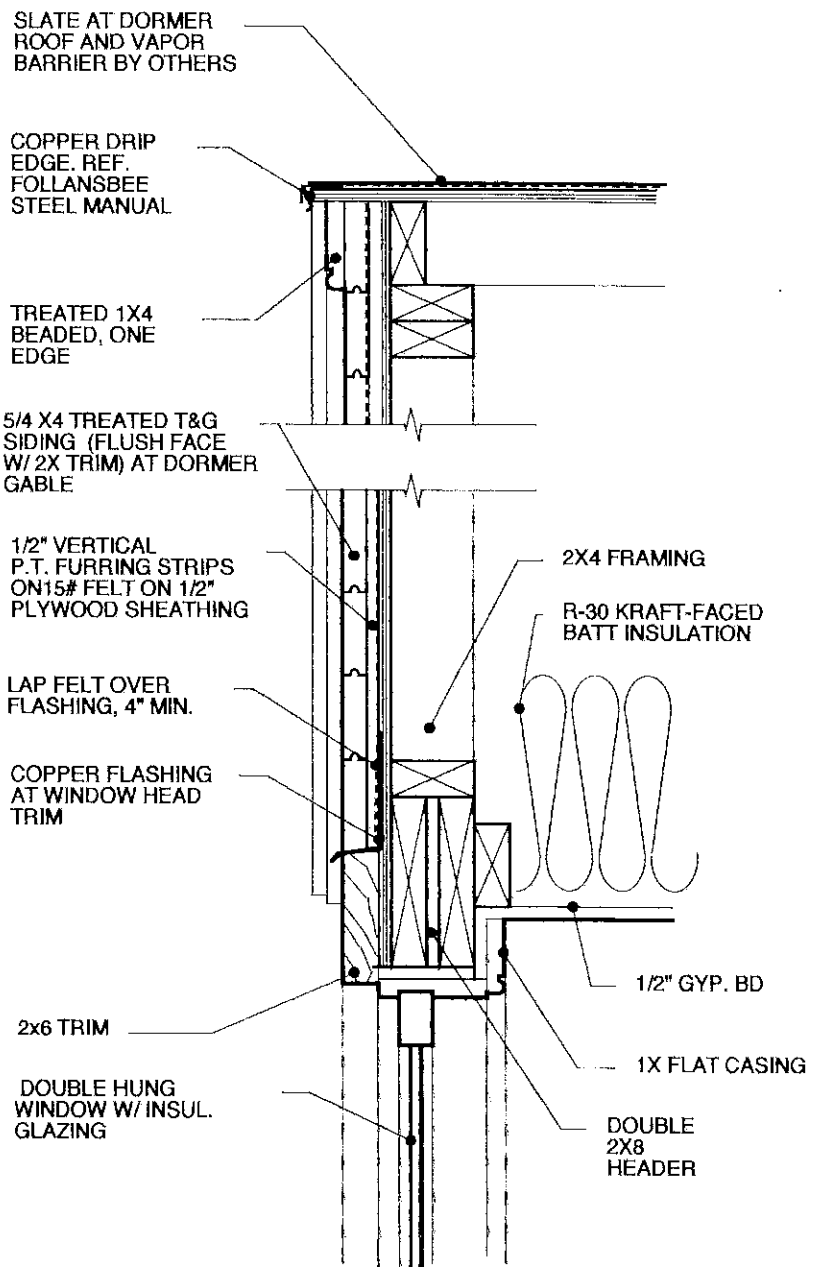
These drawings shall addend the set dated 11/10/97 previously submitted to you. Please call if you have any questions.



cc: Tyre Moore / Laura Waggoner  
Dennis Nicholson



**DORMER ELEVATION**  
SCALE: 3/4"=1'-0"



**DETAIL B: DORMER GABLE / WINDOW HEAD DETAIL**  
SCALE: 1 1/2"=1'-0"



**REVISED DORMER DETAILS**

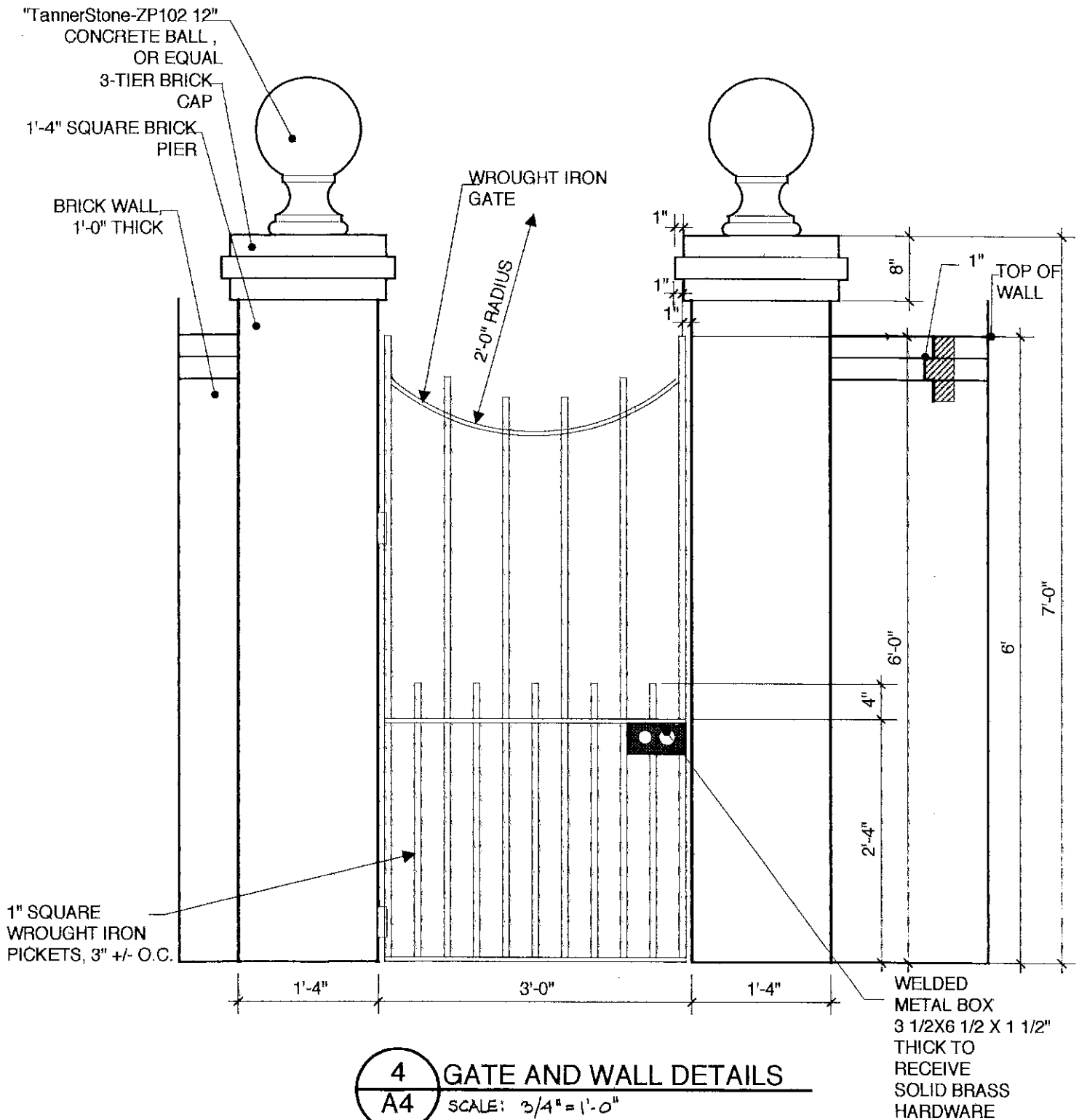
This drawing, revised 12/29/97, replaces the same numbered drawing in the original construction document set dated 11/10/97

**Dufford / Young Architects**

143 Wentworth Street  
Charleston, SC 29401  
803 577 0737

**MOORE RESIDENCE**

Wraggborough Square  
Charleston, South Carolina



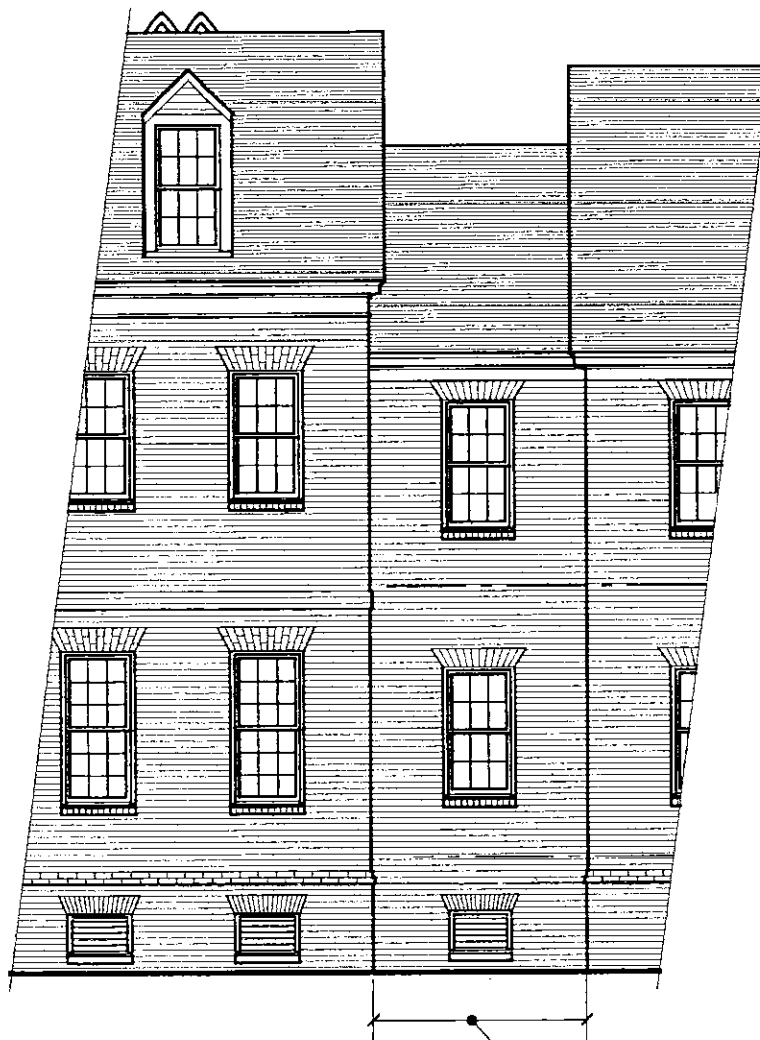
This drawing, revised 12/29/97, replaces the same numbered drawing in the original construction document set dated 11/10/97

**Dufford / Young Architects**

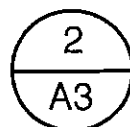
143 Wentworth Street  
Charleston, SC 29401  
803 577 0737

**MOORE RESIDENCE**

Wraggborough Square  
Charleston, South Carolina



Historic Charleston Foundation reserves the right to require the owner to coat the brick at the "hyphen" on the north and south facades with a lime wash. Upon completion of installation of brick veneer, Historic Charleston Foundation shall observe the construction and thereby determine whether this condition shall be met by the owner.



## PARTIAL NORTH ELEVATION

SCALE: 1/8"=1'-0"

This drawing, revised 12/29/97, replaces the same numbered drawing in the original construction document set dated 11/10/97

**Dufford / Young Architects**

143 Wentworth Street  
Charleston, SC 29401  
803 577 0737

**MOORE RESIDENCE**  
Wraggborough Square  
Charleston, South Carolina



March 30, 1999

Mr. Charles Chase  
Dept. of Planning & Urban Development  
Architecture & Preservation Division  
75 Calhoun Street  
Charleston, SC 29401

RE: 15 Wraggborough Lane, TMS 459-13-01-154, HCF Protective Covenants

Dear Charles:

After speaking to you about the above address I checked with Barbara at the Building Inspection Dept. I was advised by her that Frank Rhodes signed off on a temporary (14 day) certificate of occupancy on 12-17-98. Historic Charleston Foundation was not notified by the owner or any City official in regard to the protective covenants held by the Foundation.

Please check into this matter and let me know what you find. Thanks.

Sincerely,

Jim Crow  
Easement/Covenant Property Manager

Cc: Jonathan Poston



## MEMORANDUM

TO: Jon Poston  
FROM: Jim Cross *JMC*  
DATE: April 19, 1999  
RE: 15 Wraggborough Lane

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On Friday, April 16, 1999 I met with the owners of 15 Wraggborough, Laura and Tyree Moore, and their architects, Phil Dufford and Jon Young to review the situation of the house's completion and the issuance of the C. O. without HCF notification. Upon reviewing the file I read a letter dated December 3, 1997 which described concerns resulting from a meeting with Herbert DeCosta over the plans for construction of this house. Three of the four concerns expressed, though addressed with replies from the architects, were not executed on the site. These were:

1. The gate post detail was not changed as suggested and a completely different gate was installed.
2. The cornice detail for the dormer eaves was not installed as suggested.
3. The hyphen is not stuccoed as suggested and the owners have expressed no desire to do so.
4. Also, the window sill detail was changed from a brick row-lock to a cast cement sill.

Apart from these items, I find the brick work of major concern in regard to the overall appearance of the structure. I took Jason to the site this morning to get his opinion and he agrees with me that though the bricks are laid in good form the workmanship is generally sloppy. Jon Young's remark regarding this was that it only needs cleaning. This is true but the layout is also poor in regard to the window openings and the details are inconsistent. The mortar joints are dressed with a beading tool and the excess mortar was not removed from the face of the brick. Jon and Phil claim that this is a result of the irregular brick used, however the sample photographs they submitted for review display neat work. They also claim that the mason, William Rivers, came highly recommended by you. The owners do not want to clean the brick and claim that the sand face on the brick will be damaged if they do so.

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Conclusion: This is a real fiasco. The general contractor walked off the job and disappeared. The owners were left to finish the job on their own and had to resolve many legal issues. They claim to be \$50,000 over budget and are reluctant to spend any more. The architects said they submitted an exterior punch list but they did not provide it to me. Phil accused me, in front of the owners, of focusing on the brick work as punishment to the owners for not notifying HCF of the C. O. request and completion of the project.

Recommendation: I suggest that we drop the matter and move on. I am weary of fighting these issues at Wraggborough Square. I do not care for this type of speculative construction and the poor workmanship it displays. Though they are basically uncooperative with the covenants, the owners at #15 have endured extenuating circumstances and their house is really no worse than any of the others. Jon and Phil do not appear to have enough experience to deal with issues in the field, even though they charge for it, and they were not supportive of HCF concerns in this case.