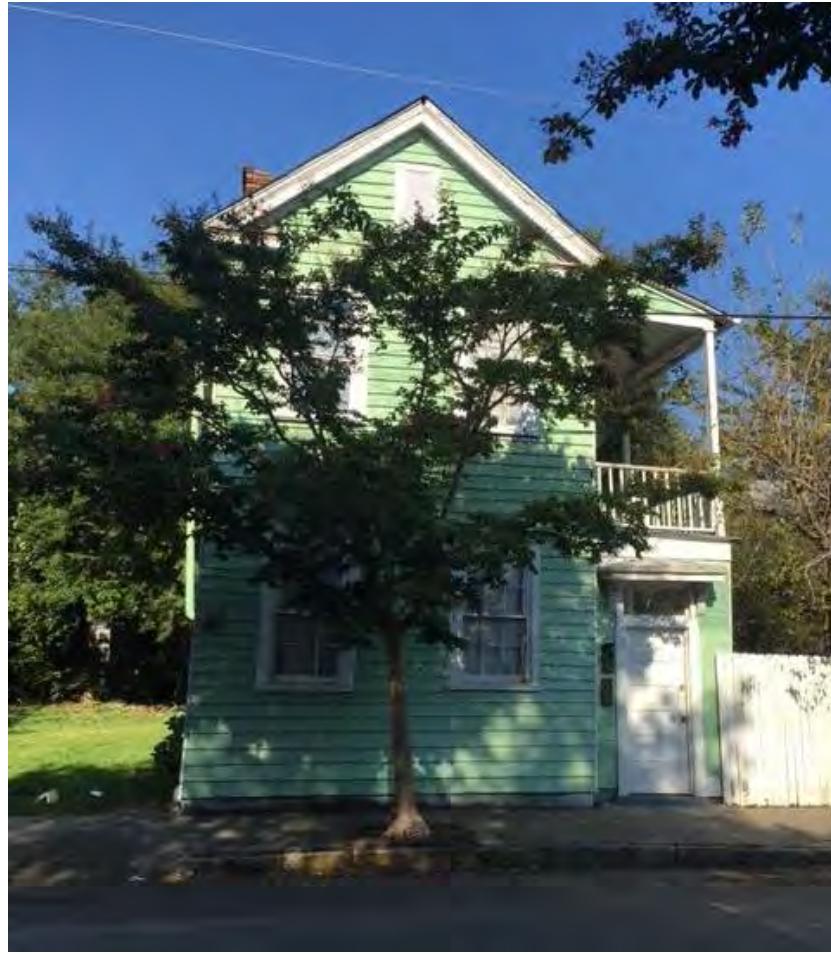


The Life and Times of an East Side House



2 Hanover Street, Charleston, SC

For Katherine Pemberton: HP 8090

Historical Research Methods

By Andrea Joyce Cooper

December 1st 2016

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Introduction

In studying the property of 2 Hanover Street, a peak at of the property's life and history was revealed. Over the last fifty years or so there has not been a lot of attention given to the East Side. Recently that has changed and there has been a growing interest in the area. This is a positive for the future of the historical buildings of the East Side.

The building on the 2 Hanover Street property was built as a single family dwelling and remained so through most of its life. The property has passed through many hands in the last 185 years. These owners switched back and forth between higher white working middle class and African American lower working class. The building now maintains the same shape, but is used as a multi-family residential dwelling rather than a single family residential dwelling.

A Brief History of Charleston

The city of Charleston, South Carolina came into being thanks to King Charles II after he was restored back to his throne in the mid seventeenth century. To completely repay and reward the men who helped him reestablish his title, he gave eight former generals, now known as the Lord Proprietors, land and the title to Carolina. The Fundamental Constitution of Carolina was written and signed and South Carolina was born. The city of Charleston was originally named Charles Town in honor of King Charles II. The city was renamed to Charleston in 1783 after the Revolutionary War when America was becoming its own country and breaking off there ties to England¹.

¹ Wilson, Thomas D. *The Ashley Cooper Plan: The Foundation of Carolina and the Origins of Southern Political Culture*. Chapel Hill: North Carolina Press. 1-58.

Charleston was considered the political, social, and economic center of South Carolina throughout the colonial and antebellum periods. These times were considered the city's original glory days. It also served as the state capital until 1790. The Charleston District was formed in 1769, but was later separated into Colleton County in 1800 and Berkeley County in 1882.

The city of Charleston became a huge attraction for immigrants. Both English and French Huguenot settlers along with their African slaves came to reap the benefits of indigo, rice, and cotton plantations along the area's rivers. Many more nationalities saw profit in Charleston and its ports. These merchants made Charleston one of the busiest ports on the East Coast.

Charleston also played a crucial role in both the Revolutionary War and the Civil War. In fact, the first shots of the Civil War were shot in Charleston at Fort Sumter².

A History of the Hampstead Area

In 1769, Henry Laurens created Hampstead. Born in South Carolina, Henry Laurens started his career as a merchant and rice planter. Most of his wealth, however, came from slave trading. He also had a career in politics. He preceded John Hancock as the fifth President of the Continental Congress and was a signer of the Articles of Confederation. Laurens was charged with treason by the British and was transported and imprisoned in the Tower of London. He was actually the only American to have ever been imprisoned in the Tower of London.

The original boundaries of Hampstead were East Bay Street, South Street, and Bull Street (which is now named Cooper Street).

² South Carolina State Library. County History.

Hampstead had a center square known as Hampstead Mall. The square was eventually separated into four separate squares. First divided in half when Columbus Street was cut through in 1905 for the trolleys and then again by America Street in the 1950s.

Between 1779 and 1781, During the American Revolution, fortification lines were built. To build these fortification lines, Hampstead houses were torched to clear space in order to see the British coming down from the Neck³.

A gardener named John Watson came to the city in the 1750s and created the Watson Garden in Hampstead. In this garden Watson experimented with plethora of imported exotic and local plants, including olives, capers, limes, ginger and grasses. The Garden was located between King Street, Meeting Street, and Columbus Street. The garden remained open by his son after Watson's death until 1802⁴.

During the War of 1812, more fortifications were built in the Hampstead area in 1811 and 1812. Included in these fortifications was Fort Washington. Fort Washington was located between Cooper Street, Drake Street, and Blake Street³.

By the 1830s, the Hampstead has become a new residential development. Then fast-forwarding twenty years, the city decides to further improve Hampstead. At this time the majority of the people living in the area are Irish, free people of color, slaves “living out”, Germans, and Charleston’s middle and working class citizens.

³ Butler, Nic. “Hampstead.” Lecture, Charleston, September 29th 2016.

⁴ Miles, Suzannah S. “Early Charleston Gardens.” *Charleston Magazine*, March 4th 2016. <https://www.charlestonlivingmag.com/early-charleston-gardeners>

The Earthquake of 1886 effected a good amount of the residents of the Hampstead area. They used the Hampstead Mall to camp out while they waited for money and help to repair the damages done to their homes⁵.

By the later 1800s, the East Side was considered to be an industrial area. The 1880s is regarded to as the great age of the area. This is mostly thanks to the Cigar Factory which was originally the Cotton Factory in 1882⁶.

There is much more wood construction in this area compared to the rest of the city of Charleston because Hampstead, in its height, was outside of the city limits. By this point, the city of Charleston had mandated structures be built of brick to prevent fires.

Once the East Side reaches the mid twentieth century, it begins to see some neglect. Around the 1950s, the “white flight” began and the neighborhoods became mostly low income, African American. Crime issues began to arise and vacant house lead to demolition by neglect⁵.

The East Side, however, has taken a turn for the better. Since the turn of the twenty-first century, major improvements have been made to the area. The future of the East Side looks positive and should be a revitalized area in the next ten to fifteen years.

According to the Census of Charleston taken in 1861 there was a total of 48,409 inhabitants. The inhabitants of Ward 5, which is where 2 Hanover Street is located at this time, was comprised of an almost equal amount of white and blacks at just over 2,000 each. There was also a decent number of freed men of color at just under 1,000. Hanover Street specifically had 238 residences. Of these residence, 200 where white, 27 were slaves, and 11 were freed colored

⁵ Butler, Nic. “Hampstead.” Lecture, Charleston, September 29th 2016.

⁶ Rosengarten, Dale. *Between the Tracks: Charleston’s East Side During the Nineteenth Century*. Charleston: Charleston Museum and Avery Institute Research Center, 1987.

people. The 1861 Charleston Census also includes a table showing the street number, construction, owner, and occupant of every house in the city. An occupant named Margaret A. Della Torre was living a 2 Hanover at the time⁷. It was interesting to see an occupant at this time period because the two story single house might not have been built yet. However, there was a wooden shed mentioned in the 1852 Ward 5 book as seen later in figure 5. This shed was one story which matches the one story wooded structure description on the Census.

Architectural Description

There is a variation of architecture in the East Side. In the eighteenth century, there were a collection of plantation homes, freemen's cottages, and Charleston single house. Our property over at 2 Hanover Street falls under the single house category. The East Side is more than just residential. It has other mixed uses such as corner stores, industrial, and commercial uses. The area also has a wide variety of styles like Federal, Greek Revival, Victorian, and Vernacular mixes.

The structure on the 2 Hanover Street property is a classic Charleston single house located on the corner of Hanover and South Street on the east side of Hanover Street. The piazza is on the south side of the house, facing South Street. The house is wood framed with weather board as the exterior walls and now has asphalt shingles as its roofing material. The 1888 Sanborn map, in figure 1, shows that the house has probably always been a wooden framed structure.

⁷ Ford, Frederick A. "Census of the City of Charleston, South Carolina, for the Year 1861," Charleston: Evans and Cogswell, 1861.

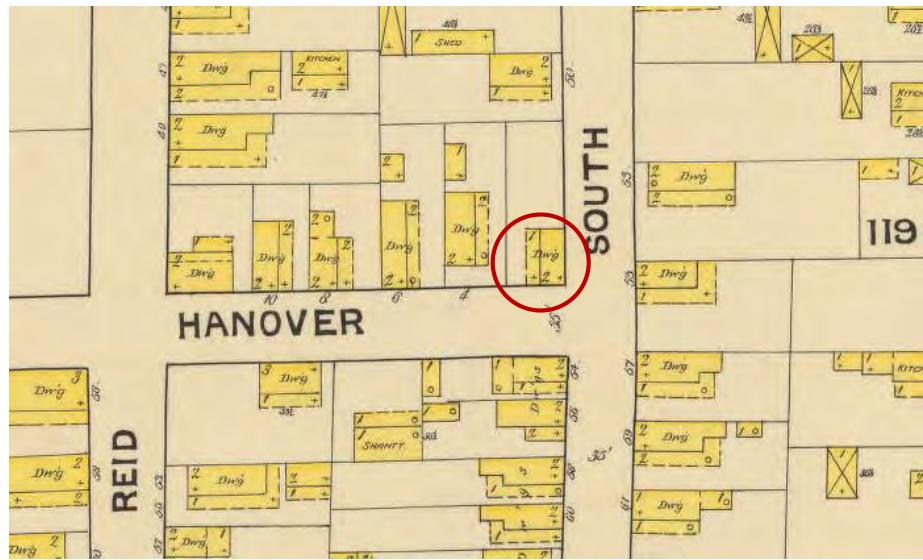


Figure 1

The house is possibly a very simple Greek Revival style with Italianate East Lake bracket details added later onto the door cornice. The structure is two stories with a gable roof on the main part of the house and a shed roof above the piazza. The House was originally built as a single dwelling but is now used as a multi dwelling. The second floor of the piazza is open to the street with picket railing. The front elevation includes two symmetrical six over six double sash windows on both the first and second levels. The dimensions of the property stayed the same through the years at 30' by 86'.

The Life of the 2 Hanover Street Property

The first known owner of the 2 Hanover Street property was Alexander Gadsden. It is unknown when he obtained the property and therefore how long he possessed it, but in 1831 he passes the property to his nephew, Thomas N. Gadsden. Alexander Gadsden's estate was et al meaning "all the rest". The deed book indicated a list of names which was included in the transferal of his estate. It is assumed that Alexander Gadsden owned a large portion of land that he divided between family members. The plat from 1847 illustrates the marsh land lot in figure 2.

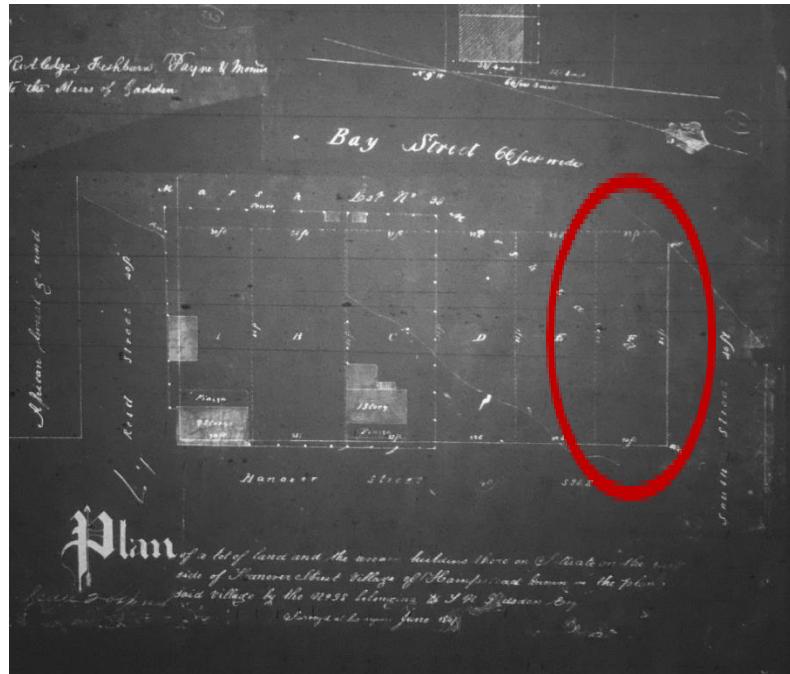


Figure 2

Alexander had an extensive family. His brother, Thomas Gadsden, and his brother's wife, E. Harriet Holmes, had Alexander's nephew, Thomas N. Gadsden⁸. Thos. N. Gadsden's piece of the estate was 2 Hanover St. The deed also mentions that the conveyance for 2 Hanover St was a marriage settlement⁹. A marriage settlement is an historically English term for an arrangement made by the bride and the bridegroom's parents or other family members for a trust of land. After the deaths of the news owners, the property would be bestowed to any children of the union if it was not already sold. Alexander also mentions his nephew Thomas in his final Will. As seen in figure 3, he was only left a silver fruit knife, a dictionary, the Works of Josephine, and a silver pitcher if Alexander's daughter were to pass before him¹⁰.

⁸ A History and Genealogy of Bellinger and De Veaux, South Carolina Room, Charleston County Public Library, Charleston, S.C.

⁹ Charleston County. Records of the Mesne Conveyance (RMC), Charleston, S.C. Deed Book D10, p. 76

¹⁰ Charleston County. South Carolina Room, Charleston County Public Library, Charleston, S.C. Will of Alexander Gadsden

To my daughter Elizth H. Gadsden, my Silver pitcher an old family
relic - should my daughter die before me, or without leaving law-
ful issue living at the time of her death then I bequeath the said
pitcher to my Nephew Thos⁵ F. Gadsden to whom I also now bequeath
my silver fruit knife Blake's Biographical Dictionary & the Works
of Josephus. The remainder of my books to be equally divided be-
tween my wife & daughter

Figure 3

According to the 1850 Federal Census, Thomas N. Gadsden was living at a different location and that he made his living as a broker. It also mentions that he has an eleven-year-old son at the time as well¹¹. Thomas Gadsden wasn't living at 2 Hanover Street at this time because, as mentioned before, the lot was still marsh land. The Bridges and Allen map, seen in figure 4, proves the property was still marsh land in 1852¹². Additionally, as seen in figure 5 again, the 1852 Ward 5 book references to the property as marsh lot with just a single wooded shed¹³.

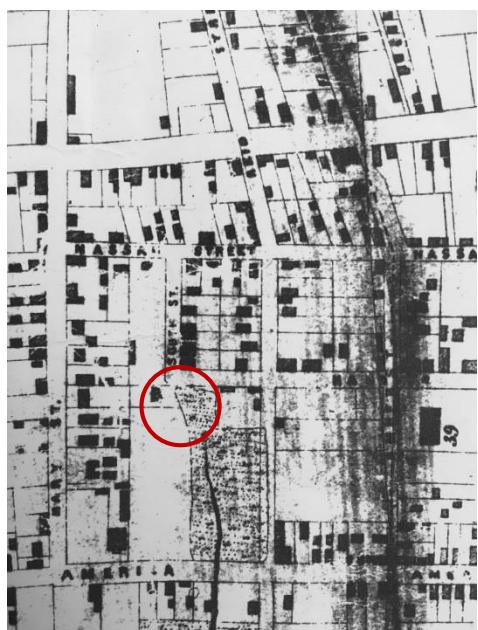


Figure 4

<u>Meeting Street</u>		Gov. Moran		1867	
P					
<u>Hanover Street east side from South Street</u>					
Street	Lot	John B. H. & Co. v. S. Henderson	1867	68	* 520 4200
W. Pitt Street	100	First N. Gadsden	1867	800	800 - 800 ⁵ 1800 4500
W. Pitt Street	100	100.200	1867	900	900 - 900 2200 2200 2200
<u>Pitt Street</u>		African Burial Ground			3250 3250 1500 1500
		Jewish Burial Ground			
L	<u>Street</u>				

Figure 5

¹¹ Federal Census of 1850. South Carolina Room, Charleston County Public Library, Charleston, S.C.

¹² Bridges, R.P. and Allen. "An Original Map of the City of Charleston, South Carolina." Hayden Brother & Company. 1852. Charleston County Public Library.

¹³ Charleston County. City Tax Assessments Ward Books, Charleston, S.C. Ward Book 5, 1852-1902, p. 19.

In 1855, Thomas N. Gadsden sold the property Alexander had passed to him to Moses Berry. There is not much information on this transaction other than the lot size and shape did not change¹⁴. The property then moved from Moses Berry to Michael Lyons¹⁵. It is believed that Michael Lyons built the house on 2 Hanover Street.

The single house was probably built between 1860 and 1869 but most likely after the Civil War when materials were more readily available in the South. The house was definitely built by 1872 because the structure is plainly visible in the 1872 C.N. Drie bird's eye view of Charleston¹⁶ in figures 6 and 7.



Figure 6

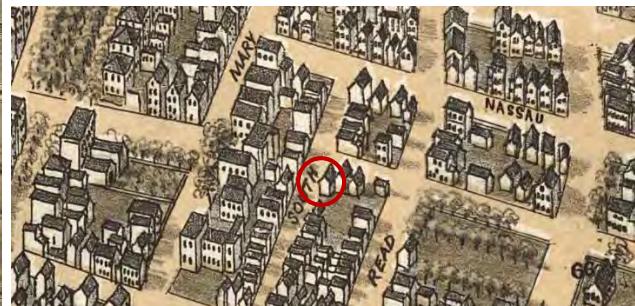


Figure 7

In researching, it was originally thought that the structure was built in 1872. This was so due to the 1871 Ward 5 book. As seen in the figure 8, there was a large increase in tax value on the property between 1871 and 1873 from \$400 to \$1000. However, as seen in figure 9, The Lyons were living at 2 Hanover in 1869.

A few years after Michael Lyons death in 1872 (figure 10), his wife, Margaret Lyons was living in the house alone in 1875 as seen in figure 11. She sold the property and house to Mary T.

¹⁴ Charleston County. Records of the Mesne Conveyance (RMC), Charleston, S.C. Deed Book T14, p. 53

¹⁵ Charleston County. Records of the Mesne Conveyance (RMC), Charleston, S.C. Deed Book T14, p. 54

¹⁶ Drie, C.N "1872 Birdseye View of Charleston," South Carolina: Library of Congress, 1872.

<http://www.loc.gov/item/75696567/> {Accessed Oct 15, 2016}.

Blanche and Michael Blanche. Again, not much changed throughout this ownership. The Earthquake of 1886 occurred when the Blanches lived at 2 Hanover, however, there was no recorded damage done to the house and therefor no repairs were necessary¹⁷.

In 1902, the Blanches sold the property to an R.B. Jarvis for the amount of 12,000 dollars¹⁸. He then passed it to his son, Fredrick Jarvis, in his will sometime between 1902 and 1918¹⁹.

No.	Name of Owner	Kind of Building	Dimensions of Lot	Value of Land	Value of House	TOTAL VALUE				
						1871	1872	1873	1874	1875
	Rachel Lyons	dw	1 62-16		600		1000			
			2							
	P. Bright		2 32-00		600		600			
	Mr. & Mrs. Steane		2 32-00		600		1000	500		
	Mr. & Mrs. Coggin and Stephen Steane		2 68-16		600		1400			

Rid. Storck

Figure 8

Lynn, J. B., boilermaker, res. cor. 214 & May, res. Massicot Street.
Cannon and Coming, McCollum, G. B., fireman, res. 52 Cannon.
Lyons, David, carpenter, res. 2 West Cannon.
Lyons, J. P., blacksmith, res. 2 West McCollum, J. J., engineer, res. 19 Lyons, M., carter, res. 2 Hanover.
Sprang.
Lyons & Murray, boots and shoes, 78 McComb, Wm., Forsythe, McComb & Co., res. 32 Burns' Is.
Lyons, Thomas, laborer, res. 2 West McConkey, A., painter, 102 Broad.

Vestal Oil is perfectly pure—no Mixtures, no Chemicals.

Figure 9

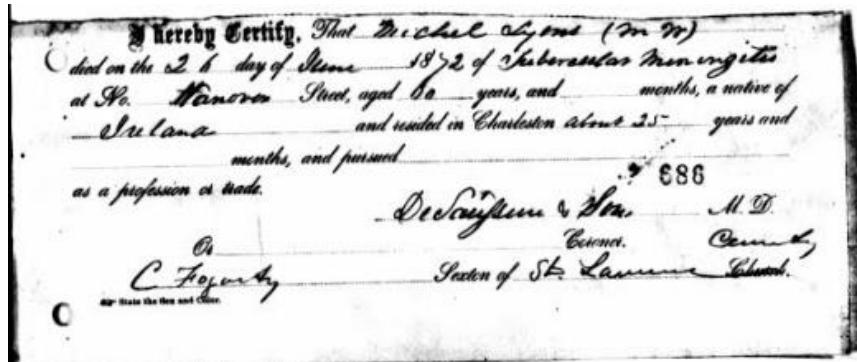


Figure 10

¹⁷ Winham & Lester, pub. "City of Charleston South Carolina, Record of Earthquake Damages," Atlanta: 1886. Charleston Public Library, pub. 1886, p. 158

¹⁸ Charleston County. Records of the Mesne Conveyance (RMC), Charleston, S.C. Deed Book E24, p. 109

¹⁹ Charleston County. City Tax Assessments Ward Books, Charleston, S.C. Ward Book 9.

Lyons, Edward E., constable with O. R. Levy, r. 12 State.
 Lyons, Edward, (c.) packer Terry & Nolen, r. 9 Market.
 Lyons, John, blacksmith Taylor Iron Works Company, r. 14
 Wentworth.
 Lyons, Mrs. M., r. 2 Hanover.
 Lyons, Miss Mary T., sewing machine operator with D. B.
 Haselton, r. South, corner Hanover.
 Lyons, Mrs. Sarah, r. 1 Tradd.
 LYONS, THOS. J., saloon, Dew Drop Inn, 193 King.

Figure 11

Fredrick must have fought in WWII on account of the photo in figure 12. Following 1918, a series of uneventful interactions occurred for this property with the size and shape of remaining the same.



Figure 12

Frederick Jarvis conveyed the 2 Hanover Street to Robert F. Touhey¹³ who then conveyed the property to an O.B. Conlon²⁰. During the Conlon ownership, the next owner, Thomas Furman, was a literate African American working as a waiter at a small café shown in figure 13. This is a photo from the 1920 Census.

²⁰ Charleston County. Records of the Mesne Conveyance (RMC), Charleston, S.C. Deed Book U28, p. 297

NAME	NAME	NAME	NAME	NAME	NAME	NAME	NAME
White, Christopher John	MB 115	White, Christopher John	South Carolina				
b1k 23 37 Furman, Thomas Head	10 F M.B. 96 M	b1k 23 37 Furman, Thomas	South Carolina				
Will	F B 35 M	Will	South Carolina				

Figure 13

Thomas Furman bought 2 Hanover Street in 1938²¹ and live there until he died in 1949 when the property passed by Will to his wife, Josephine E. Furman, who was also a literate African American. The deed in which Josephine sells the house explains that the property was left to her in Thomas Furman's Will:

“Being the same premise conveyed to Thomas M. Furman by deed of City Council of Charleston dated May 11th 1938 and recorded in the R.M.C. Office for Charleston County in Book E-40, page 255; the said Thomas M. Furman having died intestates leaving surviving him as his sole and only heir at law under the laws of decent and distribution of the State of South Carolina, his widow, the grantor herein.”

The property was sold for only one dollar²² to William Ackerman, but there are no clues of Ackerman having any relation to Josephine Furman. The reason for the property being sold is currently unknown.

William Ackerman was a well-loved man in his community. He was a lawyer and an active member in the local Jewish community. Ackerman married Jennie Shimel in 1945 after he returned from the war. He also got into to the real estate business and helped develop the South Windermere shopping center just across the Ashley River. In 1962 William Ackerman ran for

²¹ Charleston County. Records of the Mesne Conveyance (RMC), Charleston, S.C. Deed Book E40, p. 255

²² Charleston County. Records of the Mesne Conveyance (RMC), Charleston, S.C. Deed Book C60, p. 155

mayor, but lost in the primary to Mayor J. Palmer Gaillard. A few years later, his friends and family suggested he run again since he was so well loved, but he never did²³.

Five years later, for an unknown reason, William Ackerman conveys the deed to 2 Hanover Street to his wife, Jennie Ackerman. However, William Ackerman mistakenly executed the property to the Portobello Reality Company who was probably acting as a middle man maybe for legal reasons. The property was meant for Jennie S. Ackerman so a transaction was created in the same year to rectify the error William Ackerman or the Portobello Reality Company made ultimately allowing Jennie Ackerman, his wife, ownership of the property shortly after the error²⁴.

Interestingly, in the same year of 1960 Jennie S. Ackerman sold the property to Benjamin Thompson for 6,500 dollars²⁵. Then in 1979, the deed was switched to his Estate²⁶ which then eventually conveyed the property over to Agnes Ethel Blue in 2000²⁷. Just three years later, Agnes Ethel Blue sells to Joseph R. Warren for 70,000 dollars²⁸. For the next few years it is assumed that 2 Hanover Street was bounced between family members with a conveyance of only five dollars each. It started with Joseph R. Warren selling to Hamilton Warren²⁹ who then sold to a Joseph Warren³⁰. It is unclear whether this is the same Joseph as Joseph R. Warren or another family member. This Joseph Warren conveyed the property to Warren Hamilton³¹ who could

²³ Juanda, Owens B. "William 'Bill' Ackerman". Find A Grave. <http://www.findagrave.com/cgi-bin/fg.cgi?page=gr&GRid=42573055>. November 1st 2016.

²⁴ Charleston County. Records of the Mesne Conveyance (RMC), Charleston, S.C. Deed Book O78, p. 123

²⁵ Charleston County. Records of the Mesne Conveyance (RMC), Charleston, S.C. Deed Book O78, p. 141

²⁶ Charleston County. Records of the Mesne Conveyance (RMC), Charleston, S.C. Deed Book N118, p. 37

²⁷ Charleston County. Records of the Mesne Conveyance (RMC), Charleston, S.C. Deed Book B349, p. 549

²⁸ Charleston County. Records of the Mesne Conveyance (RMC), Charleston, S.C. Deed Book B349, p. 372

²⁹ Charleston County. Records of the Mesne Conveyance (RMC), Charleston, S.C. Deed Book X445, p. 868

³⁰ Charleston County. Records of the Mesne Conveyance (RMC), Charleston, S.C. Deed Book H504, p. 446

³¹ Charleston County. Records of the Mesne Conveyance (RMC), Charleston, S.C. Deed Book K553, p. 766

have been the son of a sister there by inheriting the last name as his first. Finally, Warren Hamilton sold the property to David S. Riggs³², the current owner of 2 Hanover Street.

Conclusion and Potential Research Areas

After being passed down through 185 years of owners, the property and the house at 2 Hanover Street has seen a decent amount of history. It has survived natural disasters like the Charleston Earthquake of 1886 amongst other things. Surely, there is more of this history waiting to be uncovered. Most of the plats discovered on the southern part of Hanover Street seemed to have always illustrated the block across from the property of study. Images of the property or the house were also hard to come by due to the area the property is in. The East Side was never considered important enough to do extensive documentation. These and the other small mysteries or holes found throughout the research may be found someday. Over the last few years, the East Side has gained more attention. Hopefully more information will come to light on its history and original character.

³² Charleston County. Records of the Mesne Conveyance (RMC), Charleston, S.C. Deed Book U591, p. 757

A. List of Illustrations

Fig 1: Sanborn Map Company. University of South Carolina. 1888. Sanborn Fire Insurance Maps, Charleston, S.C.

Fig 2: City Plat Book, South Carolina Room, Charleston County Public Library, Charleston, S.C. Plate #2, p. 7

Fig 3: Charleston County. South Carolina Room, Charleston County Public Library, Charleston, S.C. Will of Alexander Gadsden

Fig 4: Bridges, R.P. and Allen. “An Original Map of the City of Charleston, South Carolina.” Hayden Brother & Company. 1852. Charleston County Public Library.

Fig 5: Charleston County. City Tax Assessments Ward Books, Charleston, S.C. Ward Book 5, 1852-1902, p. 19.

Fig 6: Drie, C.N “1872 Birdseye View of Charleston, “South Carolina: Library of Congress, 1872. <http://www.loc.gov/item/75696567/> {Accessed Oct 15, 2016}.

Fig 7: IBID

Fig 8: Charleston County. City Tax Assessments Ward Books, Charleston, S.C. Ward Book 5, p.23.

Fig 9: Charleston City Directories, South Carolina Room, Charleston County Public Library, Charleston, S.C. 1869. p. 160.

Fig 10: Ancestry. Michael Lyons Death Certificate.
http://interactive.ancestryinstitution.com/7163/4275950_00187/.

Fig 11: Charleston City Directories, South Carolina Room, Charleston County Public Library, Charleston, S.C. 1875. p. 187.

Fig 12: Ancestry. “Frederick Antonio Jarvis,” Jarvis Family Tree.
<http://person.ancestryinstitution.com/tree/63858536/person/42144854026/story>. November 14th 2016

Fig 13: Federal Census of 1920. South Carolina Room, Charleston County Public Library, Charleston, S.C.

B. Annotated Chain of Title

November 7th 1831

Grantor: Alexander Gadsden (et al)

Grantee: Thomas N. Gadsden

Book & Page: D10-76

Type: Conveyance

Lot: 30'-0" on Hanover Street x 86'-0" on South St

Alexander Gadsden's estate was et al meaning "all the rest". The deed book indicated a list of names which was included in the transferal of his estate. It is assumed that Alexander Gadsden owned a large portion of land that he divided between family members. Thos. N. Gadsden's piece of the estate was 2 Hanover St. The deed also mentions that the conveyance for 2 Hanover St was a marriage settlement. A marriage settlement is an historically English term for an arrangement made by the bride and the bridegroom's parents or other family members for a trust of land. After the deaths of the news owners, the property would be bestowed to any children of the union if it was not already sold.

April 9th 1855

Grantor: Thos N. Gadsden

Grantee: Moses Berry

Book & Page: T14-53

Type: Conveyance

Lot: 30'-0" on Hanover Street x 86'-0" on South St

In this deed, Thos N. Gadsden conveys the same property that was passed to him by Alexander Gadsden to Moses Berry.

October 9th 1863

Grantor: Moses Berry (et al)

Grantee: Michael Lyons

Book & Page: T14-54

Type: Conveyance

Lot: 30'-0" on Hanover Street x 86'-0" on South St

September 14th 1883

Grantor: Margaret Lyons

Grantee: Mary T. Blanche (et al)

Book & Page: B20-33

Type: Conveyance

Lot: 30'-0" on Hanover Street x 86'-0" on South St

December 3rd 1902

Grantor: Michael and Mary Blanche

Grantee: R.B. Jarvis

Book & Page: E24-109

Type: Conveyance

Lot: 30'-0" on Hanover Street x 86'-0" on South St

Sold for \$12,000

Between 1902 & 1918

Grantor: R.B. Jarvis

Grantee: Frederick L. Jarvis

Ward 9

Type: Will/Conveyance

Lot: 30'-0" on Hanover Street x 86'-0" on South St

According to the Ward 9 book, Frederick received the deed from R.B. Jarvis by will.

November 1918

Grantor: Frederick Jarvis

Grantee: Robert F. Touhey

Book & Page: U28-213

Type: Conveyance

Lot: 30'-0" on Hanover Street x 86'-0" on South St

February 18th 1919

Grantor: Robert F. Touhey

Grantee: O.B. Conlon

Book & Page: U28-297

Type: Conveyance

Lot: 30'-0" on Hanover Street x 86'-0" on South St

May 11th 1938

Grantor: O.B. Conlon

Grantee: Thomas Furman

Book & Page: E40-255

Type: Conveyance

Lot: 30'-0" on Hanover Street x 86'-0" on South St

December 14th 1949

Grantor: Thomas Furman

Grantee: Josephine E. Furman

Book & Page: Will

Type: Will

Lot: 30'-0" on Hanover Street x 86'-0" on South St

June 15th 1955

Grantor: Josephine E. Furman

Grantee: William Ackerman

Book & Page: C60-155

Type: Conveyance

Lot: 30'-0" on Hanover Street x 86'-0" on South St

The deed explains that the property was left to Josephine Furman in Thomas Furman's will

"Being the same premise conveyed to Thomas M. Furman by deed of City Council of Charleston dated May 11th 1938 and recorded in the R.M.C. Office for Charleston County in Book E-40, page 255; the said Thomas M. Furman having died intestates leaving surviving him as his sole and only heir at law under the laws of decent and distribution of the State of South Carolina, his widow, the grantor herein."

The property was sold for only \$1 so William Ackerman may have been a step-son.

May 13th 1960

Grantor: William Ackerman

Grantee: Portobello Reality Co.

Book & Page: Deed was an error

Type: Conveyance

Lot: 30'-0" on Hanover Street x 86'-0" on South St

William Ackerman mistakenly executed the property to the Portobello Reality Company. The property was meant for Jennie S. Ackerman.

1960

Grantor: Portobello Reality Co.

Grantee: Jennie S. Ackerman

Book & Page: O78-123

Type: Conveyance

Lot: 30'-0" on Hanover Street x 86'-0" on South St

This transaction was to rectify the error William Ackerman made ultimately allowing Jennie Ackerman, his wife, ownership of the property shortly after the error.

1960

Grantor: Jennie S. Ackerman

Grantee: Benjamin Thompson

Book & Page: O78-141

Type: Conveyance

Lot: 30'-0" on Hanover Street x 86'-0" on South St

Sold for \$6,500

March 7th 1979

Grantor: Benjamin Thompson

Grantee: Benjamin Thompson EST

Book & Page: N118-37

Type: Conveyance

Lot: 30'-0" on Hanover Street x 86'-0" on South St

May 30th 2000

Grantor: Benjamin Thompson EST

Grantee: Agnes Ethel Blue

Book & Page: B349-549

Type: Conveyance

Lot: 30'-0" on Hanover Street x 86'-0" on South St

Sold for \$1

June 8th 2000

Grantor: Agnes Ethel Blue

Grantee: Joseph R. Warren

Book & Page: B349-372

Type: Conveyance

Lot: 30'-0" on Hanover Street x 86'-0" on South St

Sold for \$70,000

April 9th 2003

Grantor: Joseph R. Warren

Grantee: Hamilton Warren

Book & Page: X445-868

Type: Conveyance

Lot: 30'-0" on Hanover Street x 86'-0" on South St

Sold for \$5

August 3rd 2004

Grantor: Hamilton Warren

Grantee: Joseph Warren

Book & Page: H504-446

Type: Conveyance

Lot: 30'-0" on Hanover Street x 86'-0" on South St

Sold for \$5

September 13th 2005
Grantor: Joseph Warren
Grantee: Warren Hamilton
Book & Page: K553-766
Type: Conveyance
Lot: 30'-0" on Hanover Street x 86'-0" on South St

Sold for \$5

June 21st 2006
Grantor: Warren Hamilton
Grantee: David S. Riggs
Book & Page: U591-757
Type: Conveyance
Lot: 30'-0" on Hanover Street x 86'-0" on South St

Sold for \$200,000. David S. Riggs is the current owner of the property.

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