

The Proposed Renovation of
The Oldest House

322 Duval Street
Key West, Florida

Perpared for the
Historic Key West Preservation Board

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and
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The Oldest House was erected in Key West in 1825 after being shipped from New England with five others of its kind. This house is the only remaining one, having survived a move from Whitehead Street to its present location on Duval Street. Throughout its history, it has undergone repeated modifications; the major ones are listed below in approximate chronology.

Before 1850: The replacement of the original scuppers (6?) with two (?) small dormers in back and two small ones flanking a third larger one in front.

Before 1900: The addition of a porch at the rear of the house, probably covered by a trellis; the addition of a room (the so-called Captain Watlington's office) and the adjoining porch on the right rear of the house; at this time there was a ramp connecting the house with the kitchen outbuilding.

Before 1920: The replacement, both in the front and the back, of one of the small dormers with a new outside dormer (these were probably not built simultaneously); the enclosure of part of the rear porch to form the present kitchen; the addition of a bay to the rear of Captain Watlington's office; the addition of a porch and balcony to the left side of the house; the replacement of the spindles on the front porch with diagonal members.

Before 1950: The installation of the upstairs bathroom; the replacement of the original shingles with metal ones.

Since 1950: There have been various additions behind the back porch, including two new bathrooms; all are of very inferior

construction. The porch and balcony on the left side of the house have been removed.

In general, the modifications undergone by the house subsequent to 1920 are of very little importance or quality. Conversely, virtually all the modifications which preceded this date are of value, and one - - the progression of dormer sizes - - is of great architectural quality. It would thus seem that the house should be restored to its condition circa 1910, and the following report is prepared towards this end.

EXTERIOR

Front Elevation as Existing:

The three interior bays of the house are echoed by three roof dormers. The five bays of the front porch reflect this in an AB-C-BA pattern. Window openings are not centered on the porch bays.

The porch foundation is white-washed masonry. Its continuation as the base for a picket fence to the property lines on both sides of the house (as seen in photographs) is mostly destroyed.

White painted wood foundation slats are in disrepair, some pieces broken, missing, or improperly replaced.

The stairs to the front porch are wood: grey painted treads, white risers. Their concrete base is crumbling.

The porch floor, now painted grey, is half new (the right side) and half old, with many coats of paint.

The porch railing is wood painted white, with grey top horizontal member. The existing diagonal members are a replacement for original spindles, traces of whose improper removal can still be seen on the bottom horizontal member.

Six square wood columns are painted white. The first two from the right appear to have been repaired at the base. Square base extensions are later additions; the original columns were flush to the porch floor. Column capitals are deteriorated, in some cases partially missing.

The beam at the front of the porch roof is deteriorating.

The porch ceiling, originally finished with plaster, is currently dropped with board and moulding.

The silver painted metal shingle roof was preceded by asphalt shingles (photograph), also possibly by wood shingles.

Originally, two symmetrical single dormers bracketed the central double dormer. After the turn of the century, the left dormer was enlarged to the oversize double window form it keeps today.

Large left dormer: Left face - clapboard deteriorating at juncture with roof; some plywood repairs, shutters deteriorating. Front face - two four-pane windows are unique (the rest of the house windows being 12-pane sashes); one pair wooden shutters missing, wood deteriorating at connection with roof. Right face - same as left.

Middle dormer: Left face - clapboard deteriorating. Front face - wood between sash and roof deteriorating, shutters in disrepair, right section of broken pediment is missing. Right face - good condition.

Right dormer: Left face and right face both in good condition. Front face - one pair of shutters missing, sash unpainted, left section of broken pediment missing.

The first floor windows appear to be in very good condition. Sashes are painted white and glass panes vary in age, some appearing to be quite old, others new. Green painted wood shutters are in good condition except that slats are inoperable and hook

mechanisms are inconsistent or missing.

The white painted wood main entrance door is half glazed with a central doorbell, porcelain knob, and full-length green shutters - all in good condition.

In general, the exterior wall cladding is clapboard in good condition, having been recently painted white. Its dimensions vary 3 1/2 - 6" to the weather.

Front Elevation Proposed Renovation:

The foundation wall should be extended to the property lines. Sharpen all masonry edges.

The foundation slats should be replaced in their entirety.

A new picket fence should be installed along the foundation wall to the edges of the property.

On the right side of the house, provide a pedestrian entrance: a picket gate and two steps. Newel posts flanking this gate should be detailed similarly to those of the side porch of the house. A vehicular entrance, if needed, should be located on the left side of the house.

The front beam of the porch probably should be replaced, as should the left half of the porch floor.

The original spindles of the porch railing should be restored. If none of the originals are in existence, new ones should be patterned after those of the John Lowe House on Southern Street.

The left end of the porch needs a complete new railing.

The steps at the right side of the porch should be rebuilt

with bannisters detailed like the porch railing and newel posts like those on the left porch.

The existing porch ceiling should be removed and the original plaster finish restored.

Repair, replace, and repaint all other missing and damaged elements.

Right Elevation as Existing:

The right facade consists of the original house, added side porch, and a one story room (hence referred to as Captain Watlington's Office) at the back of the house.

A recently installed picket fence and driveway gate are set back from the original location of a fence at the front foundation wall.

The electric meter is currently located between the original house's two windows.

The foundation slats are in bad condition, partially missing.

A water pipe drops from under the side porch floor to underground of the present parking area.

The two first floor windows are similar to those of the front porch. The gable and end window of the second floor is similar, but of a larger dimension.

The side porch rests on original wood point, and more recent temporary block, foundations. The stairs and floor of the porch are new and well restored. Two white stop-chamfered columns support the porch roof. Diagonally crossing members of the porch

railing are original with the addition of the porch to the house sometime between 1912 and 1926. The roof is a recent renovation without its original cornice.

Both doors opening to the porch are partially glazed, with porcelain knobs, and deteriorated full-length shutters.

The clapboard is similar to that of the front of the house. It is generally in good condition, with only a small amount of deterioration around the porch door.

The one story rear addition, Captain Watlington's Office, has similar clapboard, and two windows generally in poor condition.

Right Elevation Proposed Renovation:

The temporary porch foundation should be removed and replaced with a wood point foundation. The foundation slats should be replaced under the porch.

It is not architecturally necessary to replace the missing porch cornice.

The electric meter should be moved to a less conspicuous location - perhaps to the level of the foundation slats. The exposed electrical wiring which clutters the rear addition should be consolidated.

The existing fence should be removed.

The existing driveway should be removed.

Rear Elevation as Existing:

The rear facade has three sections: the two most recent are of extremely inferior workmanship.

The left section (Captain Watlington's office) dates to the 1890's. The white clapboarding is in good condition; the foundation slats are unpainted; green asphalt roofing overhangs this section's cornice.

The middle section consists of five bays of wood foundation supports, and five bays of roof joists. The lower portion of the facade here is good clapboard. Above the siding are two double pane windows. Between the windows and the roof is a narrow unfilled slot, exposing the interior of this addition to the elements. A sheathing of random pieces of plywood and board covers the remainder of the middle section.

The right section includes the back entrance to the house. Four steps above ground level replace a ramp from the interior kitchen to the backyard dining room, now removed. The back door (with porcelain knob) is from the original house. The rest of this portion of the facade consists of random scrap boards, screens, a broken-pane sash, and an exterior stair to the roof, whose bottom risers are missing.

The various heights of the rear addition roofs are covered by green asphalt sheets improperly applied. Two vertical vents protrude and signal the locations of past kitchens. On the left, is a large dormer, similar to its contemporary on the front facade; to the right, is a small dormer, recently converted to a

full length door. At the extreme right of the rear roof, is a ventilating scupper, the last of six original to construction of the house. The condition of the metal roof and these dormers is similar to that described for the front elevation.

Rear Elevation Proposed Renovation:

The middle and right sections should be entirely removed to the line of the cistern, thus revealing the original back porch.

The original two porch columns should remain and three additional ones restored. The porch should be covered with a trellis screen made 1 1/2" slats and gaps on a diamond grid 50" from the horizontal. A trellis door should be located between the two existing columns and the new steps provided to ground level or alternately, a ramp may be provided for handicapped access.

To the left of the porch must remain Captain Watlington's office. To the right, the existing kitchen can be either restored, or removed and the porch extended to the right edge of the back facade.

The remaining back elevation will be resting on wood point foundations and the original cistern.

The door in the small dormer should be removed and replaced by a window, similar to that of the small dormer on the front facade.

The two chimneys are of historical and picturesque interest. They should be preserved, even though they are no longer functional.

Left Elevation as Existing:

The left elevation is described in three sections.

The right portion is the original house. The old point foundations are limestone. Supplementary supports are un-mortared concrete block and stacked lumber sections. Here, the crawl space is exposed; few foundation slats remain, occasionally replaced by scrap. The clapboard is deteriorating in some areas; a board is missing where the balcony was removed. Two shuttered windows are in good condition, consistent with other original house first floor fenestration. A third window frame is boarded up. The glazed door is a modification of the original facade, added with the no longer existing porch. At the center of the gable, the original window has been substituted with a door (now boarded up) which opened onto a balcony. The balcony and the porch have been recently removed. The cantilever roof of the balcony remains, in good condition.

The middle portion of this elevation is an addition to the original house, formed by the partial enclosing of the back porch. The base walls of the cistern are exposed at the foundation of this addition. Plumbing pipes are exposed. The window is in poor condition; the twelve pane sash is painted green. The workmanship and condition of this addition is generally inferior to that of the original house.

The left portion is the most recent and shoddiest addition. Foundation slats are uneven and missing. The clapboard is of

varied widths. A shuttered, interiorly sealed window has no sash. The bathroom drain and stack vent pipes are exposed here, and extend to the other two portions of the elevation. The stairs to the roof are in partial disrepair.

Green asphalt roof sheets overlap the edge of both of the additions.

Left Elevation Proposed Renovation:

Foundation slats should be replaced.

The clapboard needs repair, especially above the left window, which itself needs to be replaced.

As discussed in the proposed renovation of the rear elevation, the left portion of this facade should be removed. The middle portion (located above the cistern) can be either restored, or removed to again become part of the original back porch.

The missing porch and balcony have no photographic records available for their faithful reconstruction. Three options for restoration are available:

1. hypothethical reconstruction of both porch and balcony;
2. restoration to the house's original condition, which would demand the removal of both doors and the roof overhang; or
3. removal of the first floor door, and the hypothetical reconstruction of the balcony only - using detailing from the porch on the opposite side of the house.

The latter is the option recommended. By giving functional meaning to the excellent roof overhang, it represents the best

balance between economic and architectural interest. The balcony on the second floor enriches the architectural experience of the house, while a fourth porch on the first floor would not.

Crawl Space as Existing:

The house is supported by 25 original masonry piers and a cistern. Over the years, a dozen wood piles have been added. Of these, those under the vestibule are excellent; those under rooms "A" and "E" seem to be improperly braced. The original masonry piers, although eroded by weather, seem to be sound.

The beams and floorboards of the house are sound, except for the area at the foot of the interior stairs which is rotting.

Crawl Space Proposed Renovation:

The floor and beams on the left side of the porch should be brought up to the standard of the right side.

The supports of the porch on the right side of the house should be replaced with permanent wooden piles as should the two piles supporting the rear wall of Captain Watlington's office, to prevent further settlement.

The supplementary wood plies under rooms "A" and "E" should be permanently shored up.

All rotted members in the area underneath the interior stair, should be replaced.

Roof as Existing:

The original body of the house and the gable of Captain Watlington's office, are covered with metal shingles painted silver. These replace the original wood shingles.

The detailing of all joints is coarse but acceptable.

Other parts of the house - the side porch and the rear additions - are covered with green asphalt sheets of extremely makeshift installation.

There are two silver painted chimneys on the roof of the rear porch. (see description of rear elevation)

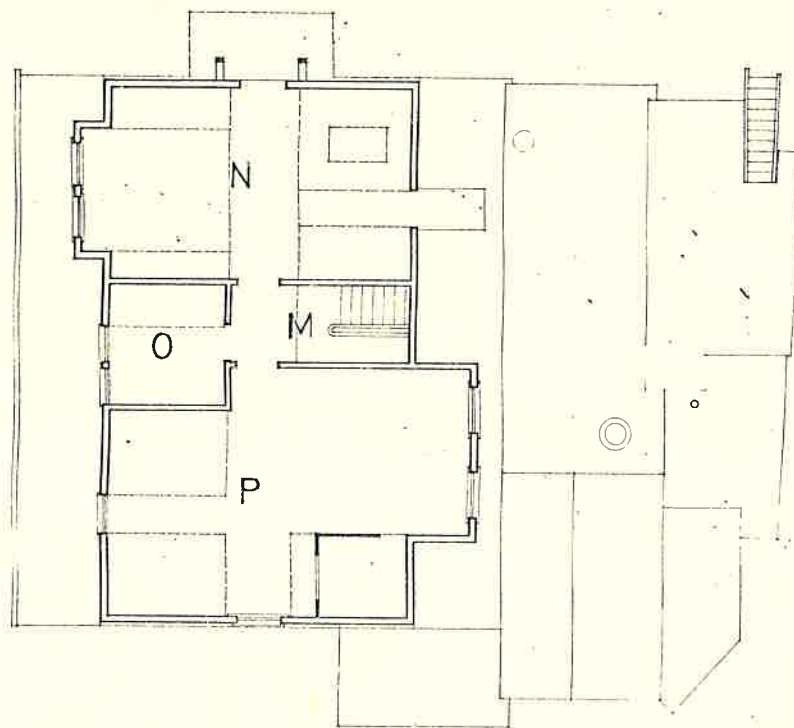
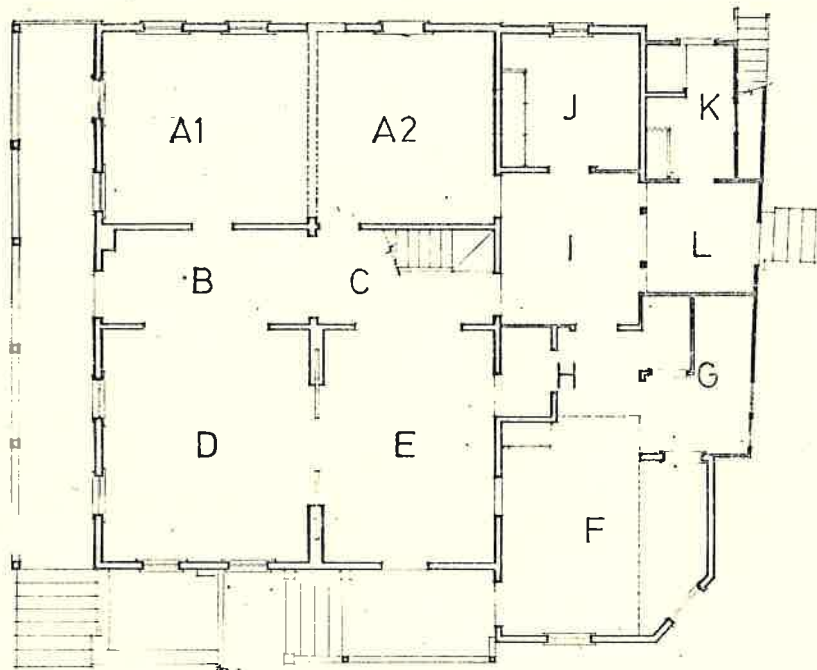
The roof below the small dormer has been removed to accommodate the new door.

Roof Proposed Renovation:

Remove all asphalt sheets and replace with metal shingles similar to those existing on the main body of the house.

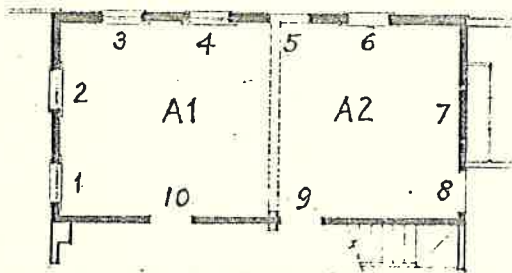
The restoration of the small rear dormer should include replacement of the missing roof section.

Explore roof area above the stair hall for source of extensive interior water damage.



INTERIOR

Rooms are indentified by letter and diagram.



"A" appears to have been originally two rooms ("A1" and "A2"). The floors appear to be old but not original. The uniform width boards are stained dark..

The baseboards have many layers of paint on wood: white to green to black to wood. New quarter-rounds have been placed at floor juncture in some areas.

The windows are twelve-pane double-hung sashes. They have no hardware. The glass is a mixture of old, flawed, and newer panes. Windows #1, 2 and 3 are secured shut; #4 opens, its sash is poorly trimmed. #6 is a shuttered window opening without frame, sashes or glass. #7 is the wall location of traces of an eliminated window.

Doors: #5 is placed under the beam separating "A1" and "A2", and therefore obviously not original to construction of the house. #8 is a shuttered doorway to the old back porch area; its original interior door is missing (possibly the existing back entrance door). #9 is a shuttered doorway to stairhall "C". #10 is an open doorway to vestibule "B". Door frames #8, 9 and 10 retain cuts from removed hinges.

One electrical outlet is located between windows #2 and 3.

A telephone jack is located to the right of door #5.

The walls have a white-painted plaster and lath finish. In some areas they are improperly repaired: at the lower left of door #5, around window #6, above door #8. There are holes near the ceiling at the back wall, and other small areas of deterioration.

The ceiling was originally a lath and plaster finish. In "A1", cardboard and tape (painted white) cover wallpaper, plaster and lath; new quarter-round trim has been added. A sagging box beam appears to be reinforcing the beam which was inserted at the time of removal of the wall originally dividing "A1" and "A2". The box beam shows evidence of dry rot and termites. "A2" retains its plaster ceiling, cracked and deteriorating. The ceiling is curved and slopes at the back wall in response to the original roof line. A paper and tape patch is located in the center of this ceiling.

The exterior wall of "A" seems to be damaged by water entering the hole left after the removal of the balcony on the left side of the house.

"A" Proposed Renovation:

Door #5 to the no longer existing porch should be removed and the wall restored.

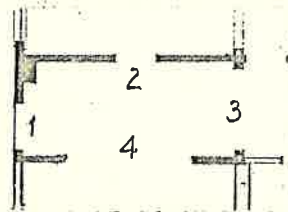
The wall originally separating "A1" and "A2" should be replaced. This will return the original order to these rooms' window placement, simultaneously making available room "A2"

(relatively un-interesting) for a caretaker's apartment. (The door connecting "A1" and "A2" through the returned wall need not be restored.)

The sash of window #6 should be replaced.

The ceilings should be stripped of cardboard and paper, and returned to a plaster finish.

In this and all subsequent rooms, small imperfections should be corrected and all surfaces repainted.



"B" is the vestibule. It has a furred-out corner to accomodate the plumbing for the upstairs bathroom. This is a modification of the original; it is well done and still in good condition, although lacking a baseboard.

The floor is original and the baseboards of "B" are the same as described for room "A".

All doors have framing in good condition. The glazed front door (#1) is painted white; it has a porcelain knob, an inactive doorbell, one lock, and one cut wound from a previous lock. #2 is an opening without a door into room "A". #3 is a framed opening to stairhall "C". This framing is inconsistently baseboarded and retains badly filled cuts. #4 is framed opening ^{to} "D"; it exhibits traces of hardware for three doors. The transom was probably dropped at the time the (now missing) doors were added

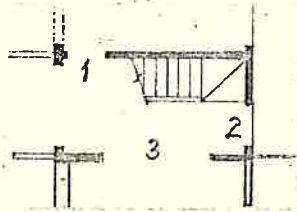
after the turn of the century.

The walls of the vestibule plaster and lath finish painted white and in good condition.

The ceiling is plaster and lath painted white and generally in good condition.

"B" Proposed Renovation:

"B" needs no major renovation.



"C" is the stairhall. Floors and baseboards are the same as described for room "A". Doors: #1 is a shuttered opening to "A2", peculiarly framed behind the stair soffit. The back entrance (#2) is a white wood door whose interior mouldings and framing are in disrepair. It has a brass knob. #3 is a framed opening whose underside is improperly spackled.

The walls are plaster and lath painted white in good condition, except for the back wall which is heavily water damaged; all plaster and some lath has been removed here.

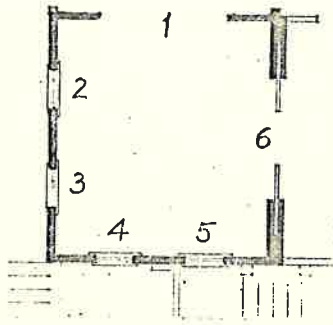
The stair is in good condition. The balusters and risers are painted white; the hand rail and treads are stained dark.

The stair soffit shows recent poor repairs to the plaster.

The ceiling of the stairhall is rotting and poorly repaired. Its deterioration appears to be the effect of earlier roof leakage and water damage.

"C" Proposed Renovation:

All poor restoration should be removed. Damaged areas should be restored to plaster and lath finish.



"D" is the original living room.

Floors and baseboards are the same as described for room "A". Doors:

#1 was originally an open doorway; it retains the hinges of added, and

since removed, doors. The dropped transom was probably added with the doors. #6 is the location of double doors (painted white, with porcelain knobs, and at present immovable), which slide into the wall. The track on the floor board (painted brown instead of stained like the rest of the floor) is still in good condition.

The windows are twelve-pane double-hung sashes, with no hardware, and a mixture of old flawed glass and more recent panes. #2, 3 and 5 are secured shut; #4 opens, its lower left-hand corner has holes; #2, 4 and 5 have peculiar moulding at the sides of their sashes.

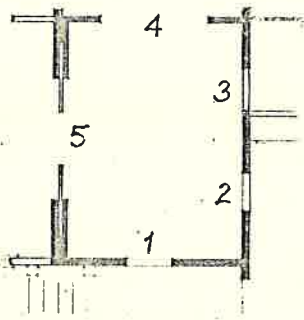
The walls of the living room are white plaster and lath, in good condition.

The ceiling is plaster and lath, painted white over peeling layers.

"D" Proposed Renovation:

Remove extra moulding from windows #2, 4 and 5.

Remove hardware from doorway #1.



"E" was probably the original dining room. The floor consists partially of boards similar to those of rooms "A" and "C": they are old but not original.

These are spliced (at the quarter point of the room) to newer boards which have been inadequately stained.

The baseboard finish is a mixture of paint and stain.

This room has undergone a partial renovation - resulting in the removal of the plaster - which reveals the wide random boards (up to 18" in width). These are the original cladding, pre-dating the plaster and lath. The boards have been extremely abused. The remaining walls still sport their plaster and lath in good condition.

Doors: #1 is a pair of partially glazed french doors with what appears to be old glass. They have deteriorating mouldings inside and out, and porcelain knobs. (Note: this door frame moulding is the most elaborate existing in the house. This, and the difference between the side porch opening off this door and the front porch, suggest the later substitution of this door for a previously existing original window.) #3 is a sealed door; the knob hole is spackled and the other side is blocked by a closet in "H". The opening #4 into the stairhall is in good condition. The double doors (#5) are described with room "D".

#2 is a window opening covered with scrap materials, including

a pair of shutters.

The ceiling in room "E" has recently been poorly renovated, with celotex whose seams show. An incomplete light socket is centered in the ceiling. A beam bisecting the ceiling is assumed to have been added at the time of the ceiling renovation, to structurally reinforce the large dormer above. The beam is supported by a new column to the left of door #1. It appears that the wall boarding was cut and removed to insert the column, and then inconsistently replaced.

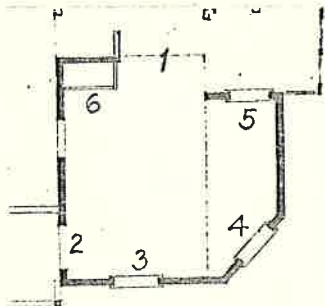
"E" Proposed Renovation:

Because of the abused condition of the exposed wide boards and the gaps left by its removal, the plaster should be replaced. (For historical reference, these boards may be seen exposed in the upstairs bedrooms.) The replacement of the plaster should cover the new column, and opening #2.

Door #3 should be made operable.

The ceiling renovation should be removed and replaced with plaster; the new beam should be retained because it is structurally necessary.

The floor should be properly re-stained.



"F" (Captain Watlington's office), with the back porch, is the earliest and best addition to the original house. The interior assymetry of the gable of this addition

corresponds to the slope of the porch roof. A build-in wardrobe does not reach the shed roof.

The floor is variously painted, peeling and spliced. Towards the rear of the room, the floor slopes out.

Doors: #1 has no closure: it is a doorway to the no longer existing covered walkway to the old external kitchen. #2 is a patterned-glass double door painted metallic gold. #6 is a like set of doors, painted white, which are reported to have been the original side entrance doors.

Windows: #3 and 4 are twelve-pane double-hung sashes which include old and new and some broken glazing. #5 is an open window frame with exterior shutters but no sash.

The walls are board painted white, with occasional rot evident. The wall adjoining the original house has had its clapboard removed and substituted by scrap boarding, unpainted. This wall has an electrical outlet.

The ceiling is white-painted board, following the gable line. The ceiling at the top center of the gable is flat, as it is at the back of the room.

"F" Proposed Renovation:

Replace floor boards where necessary.

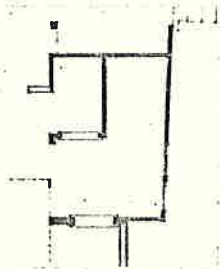
The walls of ^{the} missing corner - giving to the porch area - must be restored with a new door. And a window should be installed in frame #5.

The scrap wall should be replaced with tongue and groove boarding similar to that of the rest of the room.

Remove the visible electrical wiring.

The wardrobe should be retained.

The slope of the floor at the back of the room should be braced but not corrected. (see description of crawl space.)



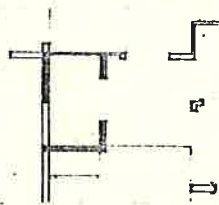
"G" is an addition that partially occupies that space originally enclosed by a covered passageway to the demolished kitchen building.

The materials and construction of "G" are extremely shoddy.

This space contains the remainder of a small bathroom, outside the original porch boundaries. It contains a toilet, sink, metal shower cabinet, vent stack, and a light socket above the sink.

"G" Proposed Renovation:

Remove.

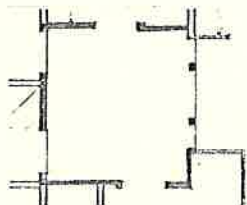


"H" is part of the original porch. It contains a very recently added plywood closet, which backs up to room "E"'s sealed door (#3).

"H" Proposed Renovation:

Remove the closet and the wall which separates "H" from the rest of the porch area.

Restore floor boards and door opening to "E".



"I" is the mid-section of the original porch. Two original porch columns (stop chamfered and painted

white) remain exposed.

Plywood flooring over boards is cut away for a hatch to the cistern.

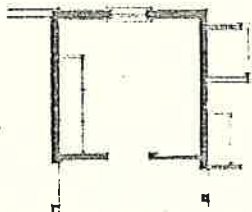
A small amount of wood lattice work is retained at one end of the porch opening.

The board ceiling and joists of the original porch structure are exposed and painted white. Surrounding addition walls are finished with horizontal and vertical boarding - some of it painted white, other parts exposed. The original house exterior wall is covered with old wide horizontal white boarding.

"I" Proposed Renovation:

"I" and "H" should be rejoined, as in the original porch. The floor should be restored.

Three additional columns, and the original lattice slats (1 1/2" slats, 1 1/2" spacing, on a diamond grid 50" from the horizontal), should be restored at the exterior boundary of the original porch. A lattice door should be placed between the two existing columns, making use of the existing grooves.



"J" is the present kitchen, formed by enclosing the end of the porch. It is built over the original cistern. This room is in very poor condition, with water damage evident on all walls.

The ceiling has been dropped below the original porch joists.

The existing window is in poor condition.

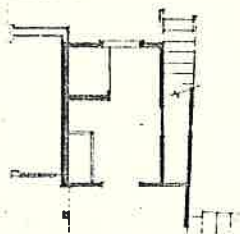
A storage unit, built against the exterior wall of the original house blocks the filled-in window (#7) of room "A2".

"J" Proposed Renovation:

As discussed with the rear elevation, two options for this area are available:

1. removal of the walls and continuation of the porch the side of the house, with columns and enclosing lattice work;
2. Extensive renovation of the existing fabric, for this room's use, together with "A2", as the caretaker's apartment. In this case, a connecting doorway should be provided at the location of the blocked window.

(see room "A2", #7)

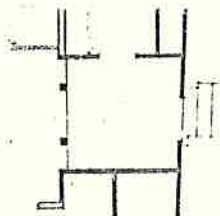


"K" is an existing bathroom of recent construction. It is complete and in working order.

"K" Proposed Renovation:

Remove.

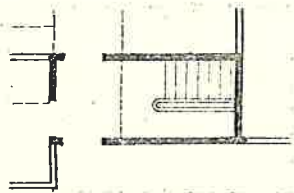
If the removal reveals a window location on the rear wall of the existing kitchen, restore the window.



"L" is the existing back entry, extending out from the original porch columns. It is of mixed construction and includes a panel door from the original house.

"L" Proposed Renovation:

Remove. Retain the door for use in the renovation of the original house.

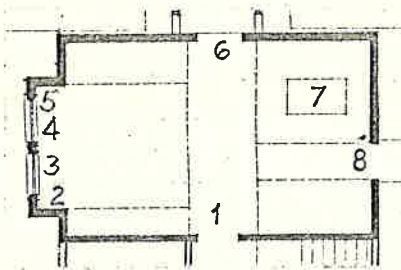


"M" is the upper stairwell and hall. The stair itself is in good condition. The treads are dark stained wood; the risers are painted white over a peeling undersurface. The baseboard is improperly painted white. The bannister appears to have been poorly refinished: the uprights are painted white; the rail is stained wood, splattered with white paint in some spots. The floor surrounding the uprights appears never to have been refinished: it is painted a cream color, inconsistently with the rest of the floor. The floor of the upstairs hall is dark stained wood, similar to the floors in the rest of the original house. Here, it has been noticeably discolored by a since-removed carpet stair runner. The hall floor does not evenly meet the floors of rooms "O" and "Q".

The walls of the stairwell and upper hall are plaster and lath finish painted white. The ceiling is a recent poor renovation of board painted white.

"M" Proposed Renovation:

Remove board ceiling and restore plaster. Refinish all surfaces properly.



"N" is one of the upstairs bedrooms.

The floor appears to be original, dark stained, with some deterioration in individual boards. The internal walls are plaster and lath finish

painted white. External walls are the original wide boards painted white. The dormer walls, which are additions, are made of newer, narrower board. Small round holes at various points in plaster and wood walls appear to have been made for electrical conduits.

The front dormer is an enlargement of the previously existing single window dormer symmetrical with that of room "P". Two large four-pane windows (#3 and 4) face front; smaller twelve-pane sashes (#2 and 5) bracket the side of the dormer.

The back dormer of room "N" is at present a jalousie door (#8), with a glass transom above, and a porcelain handle; it opens onto the roof of the back additions.

Directly to the door's left is a roof scupper (#7), probably original to the house's construction. It is made of large boarding.

The gable end of the room has a sealed jalousie door (#6), with double screen doors. This was formerly the exit to the exterior balcony addition, the only remaining trace of which are the gable overhang and missing clapboard. At the time of construction of the original house, this gable had a large window instead of the existing door. To the left of this door is an electrical outlet. #1 is a wood panel door with brass hardware.

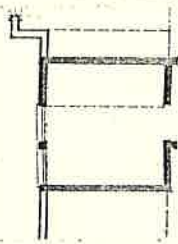
The ceiling of room "N" is white-painted board. It is deteriorating with dry rot. The slope of the eaves is finished with plaster and lath (deteriorating in some areas) painted white.

"N" Proposed Renovation:

Refinish plaster and lath wherever necessary.

Restore rear dormer to window.

The gable door should be reactivated if the exterior balcony is to be restored. If not, replace the existing door with a window similar to that of room "P".



Room "O" is a bathroom, not original to the house. It appears that the wall separating the stairway from room "P" originally continued to the middle of the center double window dormer. A beam runs from the middle of this dormer to the remainder of the wall it replaces.

The floor of the existing bathroom is original to the house. The floor finish, a dark stain, retains the mark of the removed wall. With the modification of this space to a bathroom, the original floor was raised one step to accomodate plumbing.

The two windows are part of the original center dormer of the house.

One door (with a combination of old brass and recent hardware) opens the bathroom to the stairhall.

The wall separating the bathroom from the adjacent bedroom "P", appears to be fairly new, made of celotex and wood, painted white. The wall and adjoining the other bedroom is original.

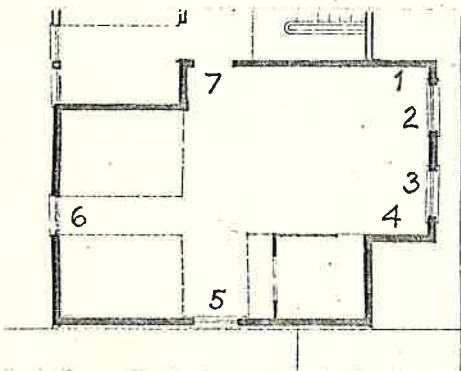
It is made of wide board painted white.

The ceiling is white-painted boarding, with a center beam.

The bathroom fixtures, including sink, toilet and tub, function. A mirrored medicine cabinet is built into the wall above the sink. A hole on the wall above that appears to have been an electrical wiring connection.

"O" Proposed Renovation:

The celotex may be replaced by plaster. However, this is not necessary, since it is very well installed.



"P" is the other of the two upstairs bedrooms. Its floor is in a condition similar to that of the other bedrooms, with some dry rot in the area of the large dormer. The floor slopes at the large dormer.

Although this condition is disturbing, it is not unsafe, having been stabilized with a new beam below (see room "E").

The area of the enlarged back dormer belonging to "P" is appreciably larger than the similarly modified front dormer of "N". Different detailing implies that the two were not built simultaneously. The windows used on the face of the back dormer are large twelve-pane sashes (#2 and 3), with similar smaller ones (#1 and 4) bracketing the sides. A large twelve-pane window (#5) is located in the gable wall, and one small twelve-pane window

(#6) dormer faces front. The windows are generally in good condition, though #4 appears to be badly installed, and #3 and 4 are inoperable.

The door (#7) to the hall is wood with a porcelain handle.

Wall and ceiling finishes are original board painted white. A portion of the eave facing rear has been set aside as a makeshift board closet. A seam in the sloping ceiling of the closet probably demarcates the original location of a ventilating scupper - closed after dormer enlargement. Eave ceilings and the interior wall separating "P" from the stairhall are plaster and lath painted white. The wall built to accomodate the bathroom is made of celotex painted white.

"P" Proposed Renovation:

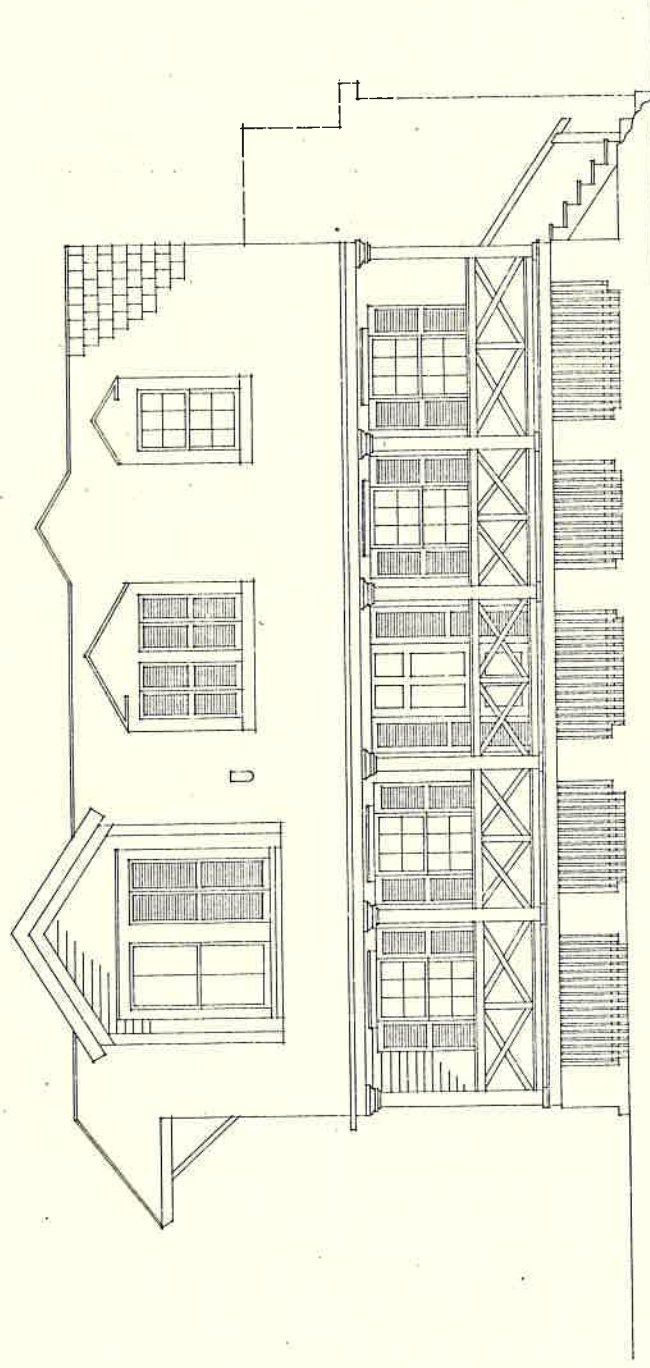
Make all windows operable.

Repair dry rot at floor of rear large dormer.

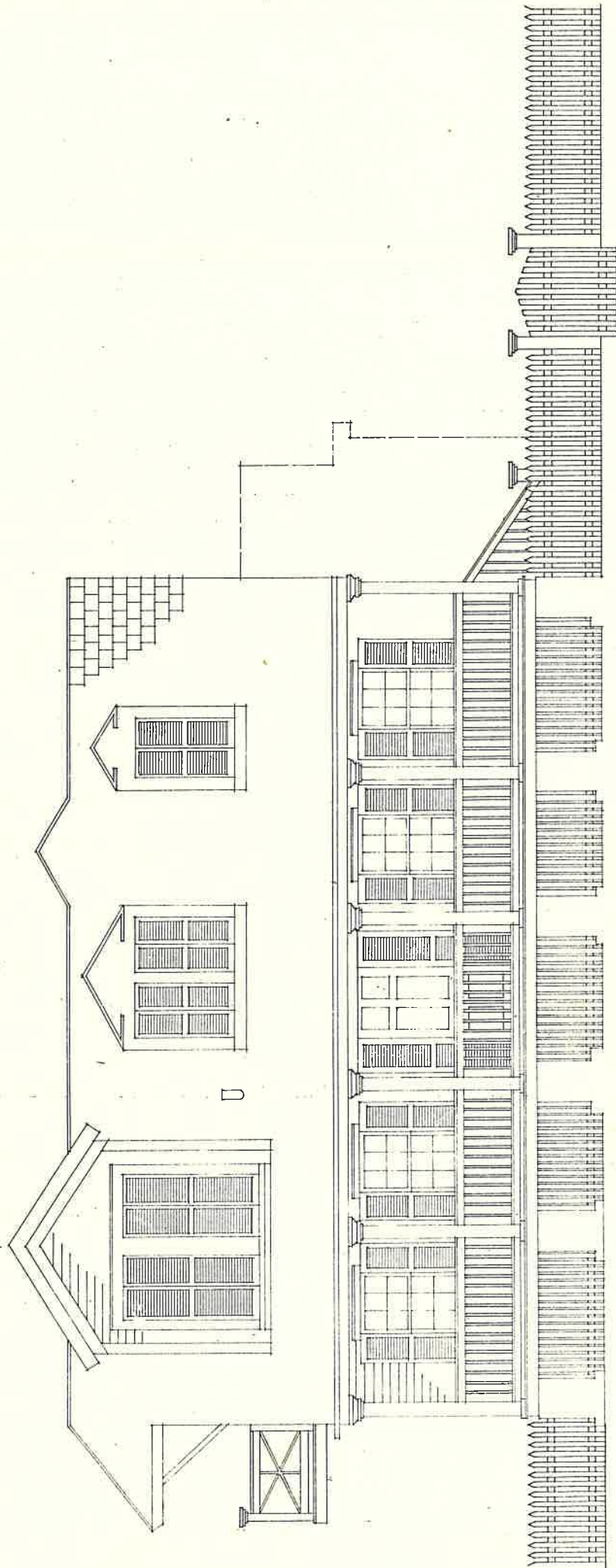
PHASING OF RENOVATION

First priority for renovation should be given to the correction of structural deficiency and water damage, as described in the sections: Crawl Space Proposed Renovation, Roof Proposed Renovation, and Left Elevation Proposed Renovation. ^{pg. 12} ^{pg. 13} ^{pg. 11 + 12}

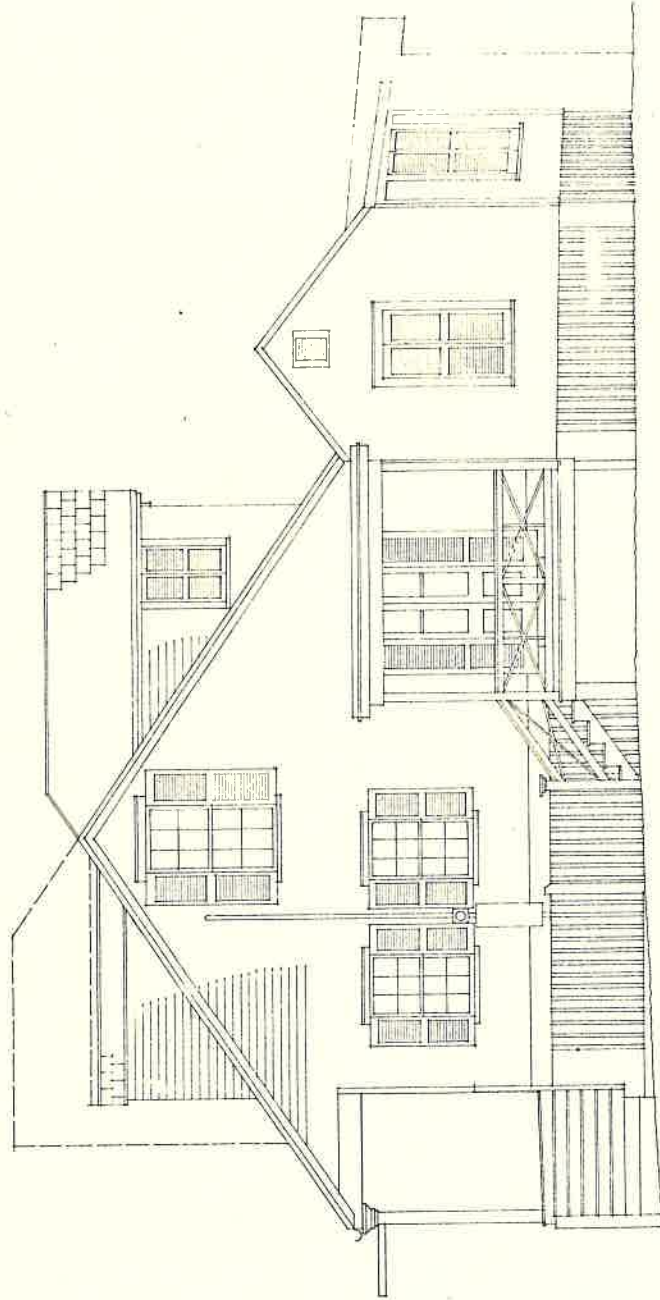
To hasten the availability of the house for visits, the recommendations described in sections Front Elevation Proposed Renovation and Rear Elevation Proposed Renovation, should be carried out first. ^{pg. 5 + 6} ^{pg. 9}



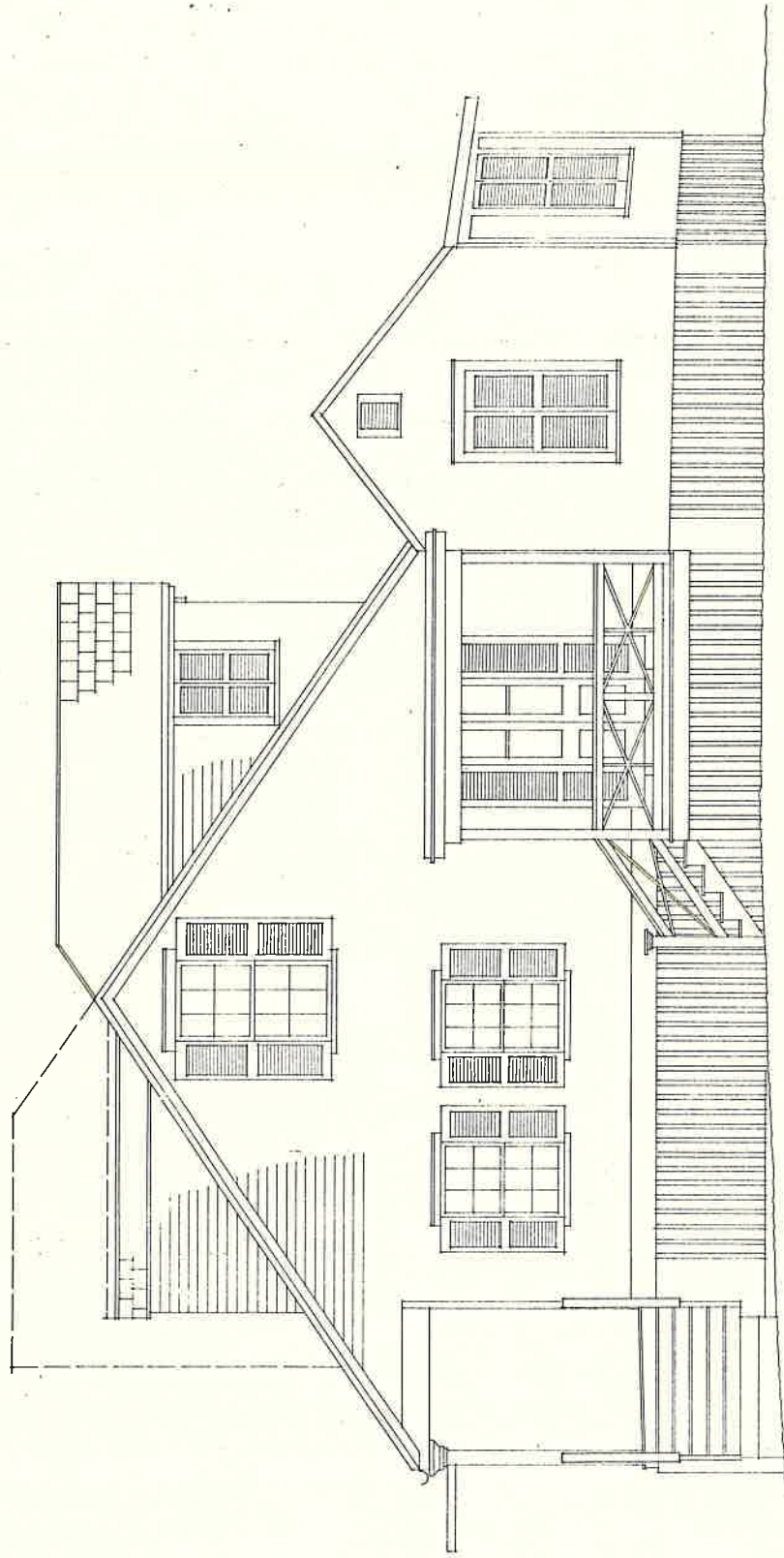
THE OLDEST HOUSE - AS EXISTING MAY 1975 - FRONT ELEVATION



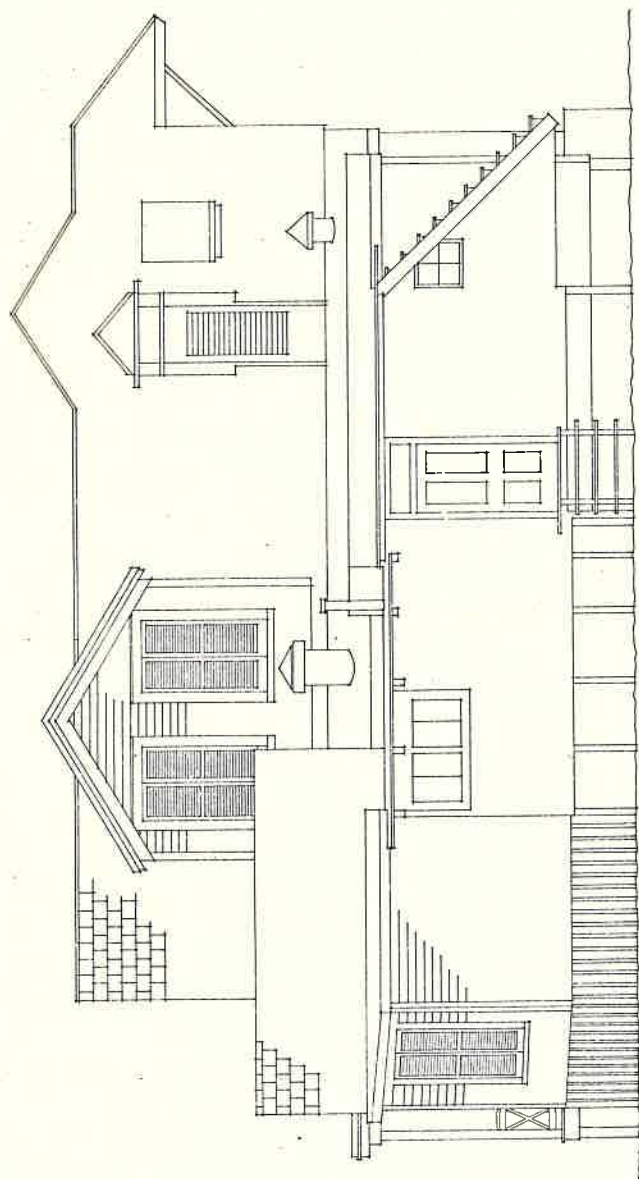
THE OLDEST HOUSE - PROPOSED RENOVATION - FRONT ELEVATION



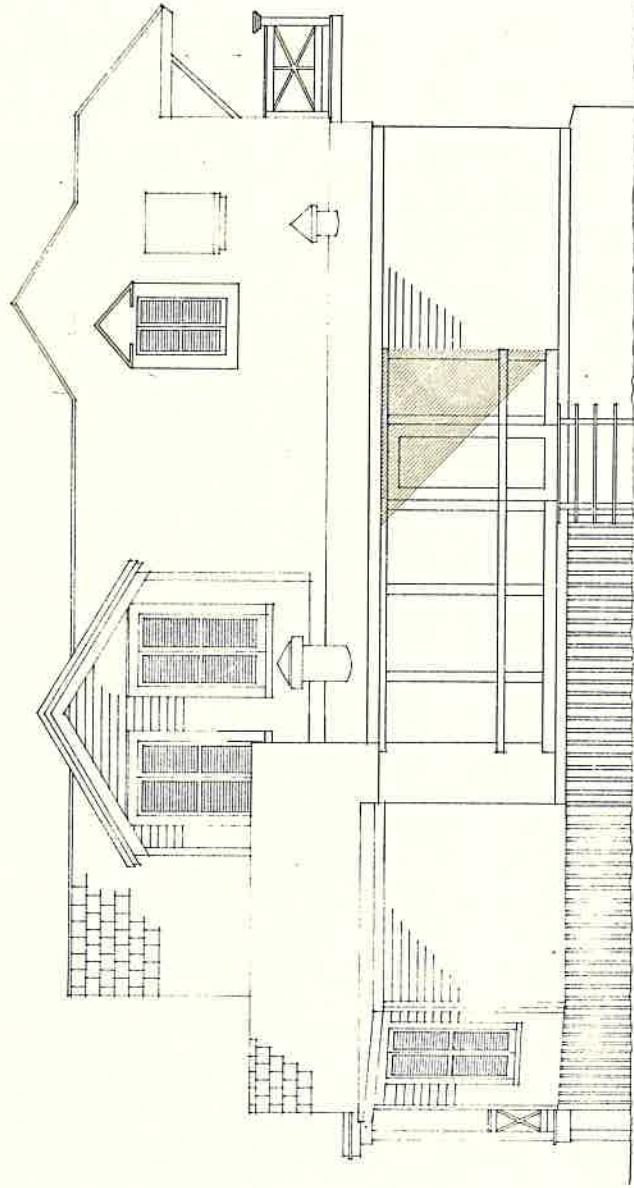
THE OLDEST HOUSE - AS EXISTING MAY 1975 - RIGHT ELEVATION



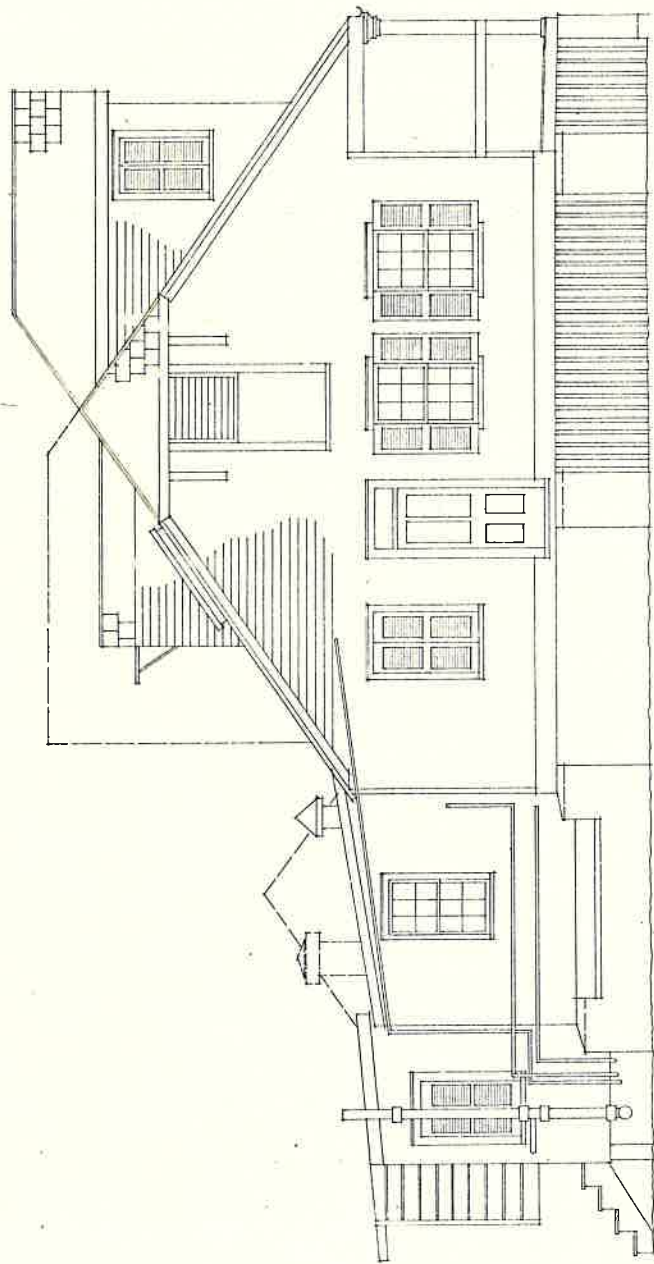
THE OLDEST HOUSE - PROPOSED RENOVATION - RIGHT ELEVATION



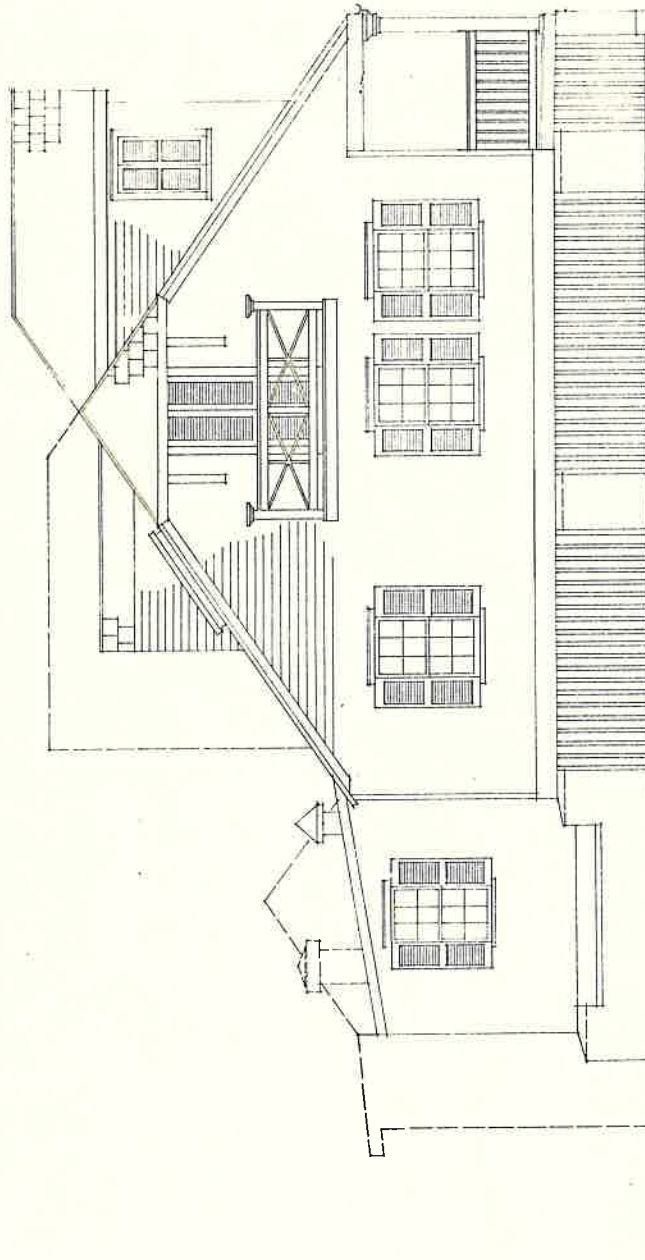
THE OLDEST HOUSE - AS EXISTING MAY 1975 - REAR ELEVATION



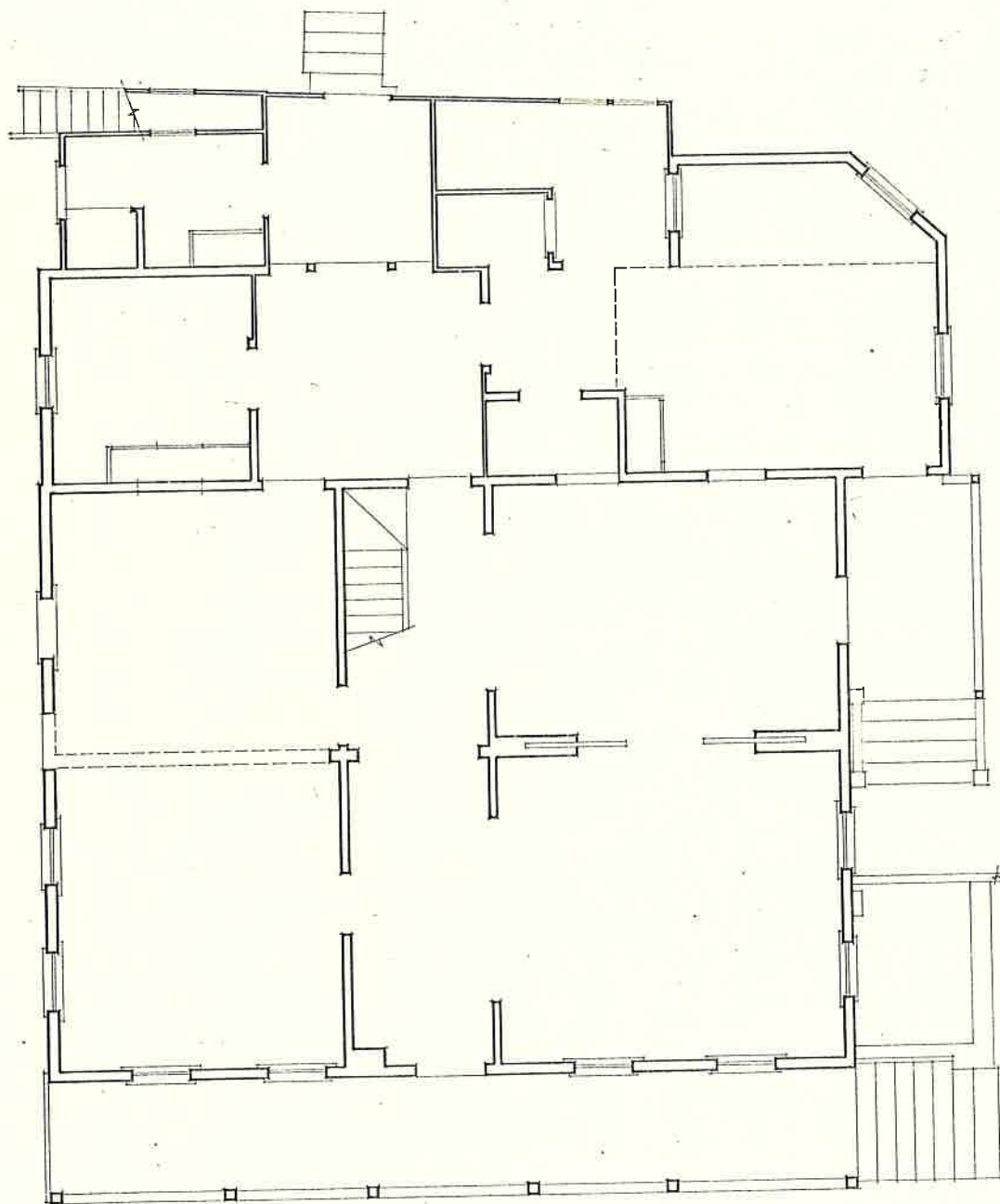
THE OLDEST HOUSE - PROPOSED RENOVATION - REAR ELEVATION



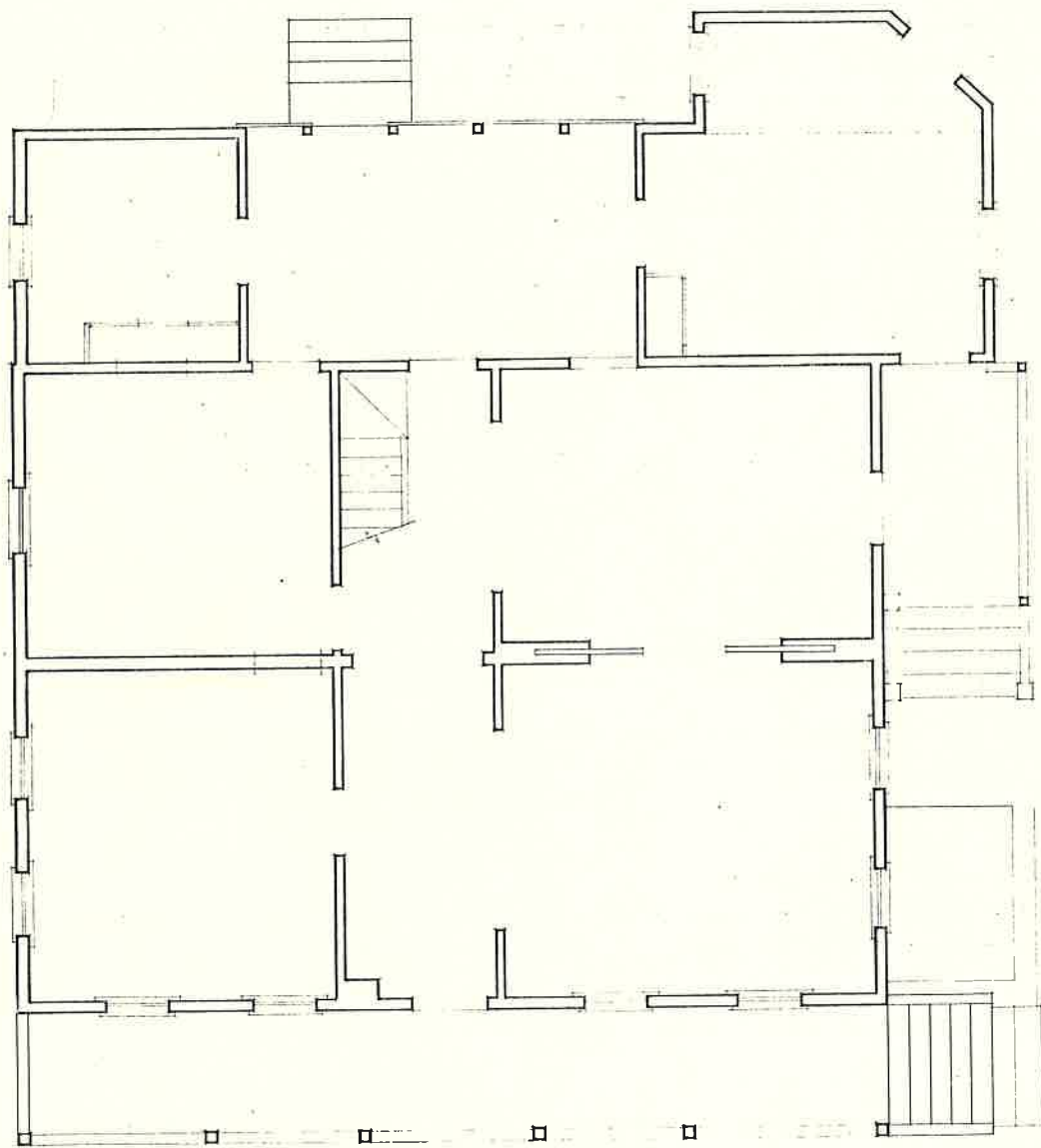
THE OLDEST HOUSE - AS EXISTING MAY 1975 - LEFT ELEVATION



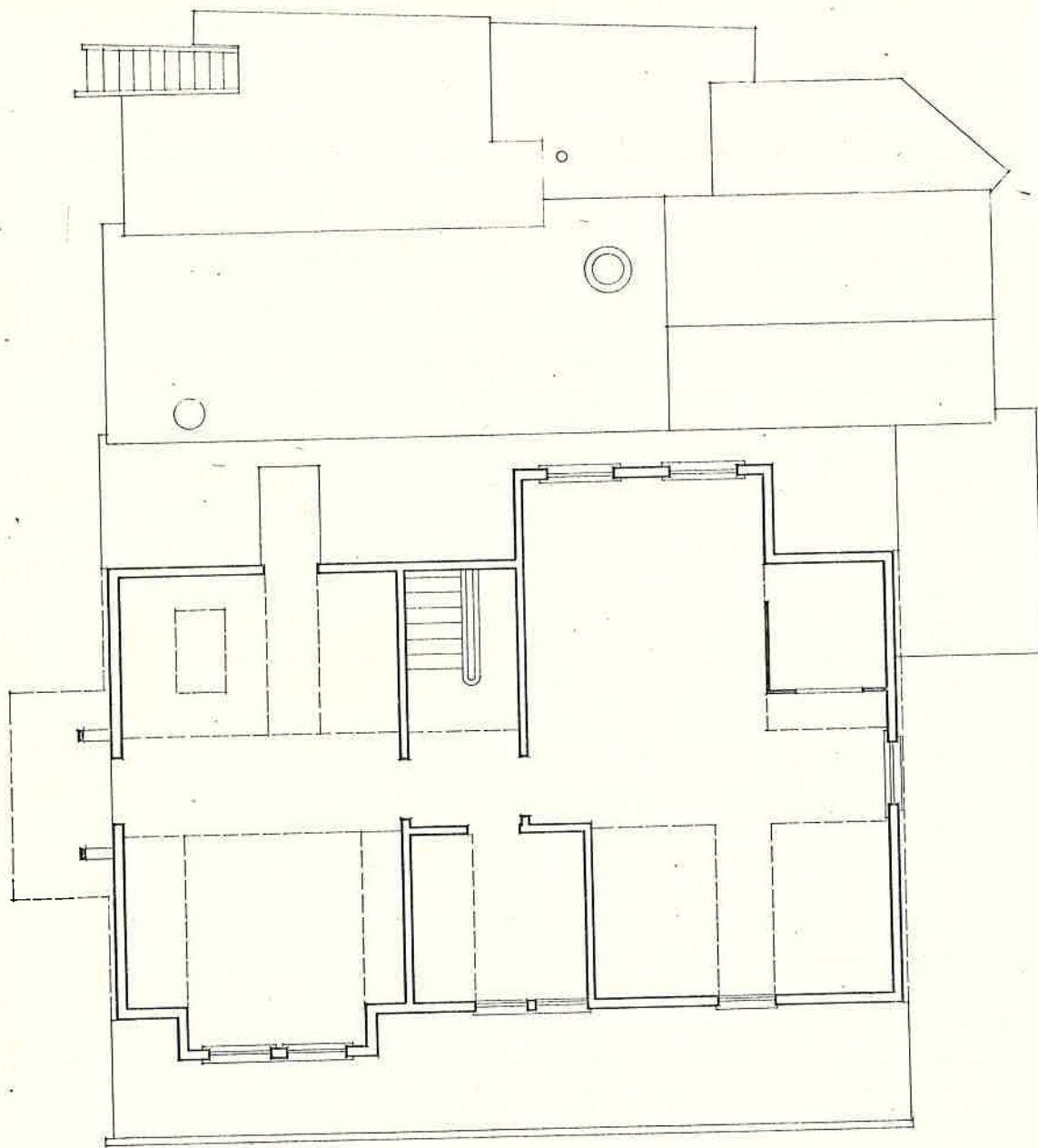
THE OLDEST HOUSE - PROPOSED RENOVATION - LEFT ELEVATION



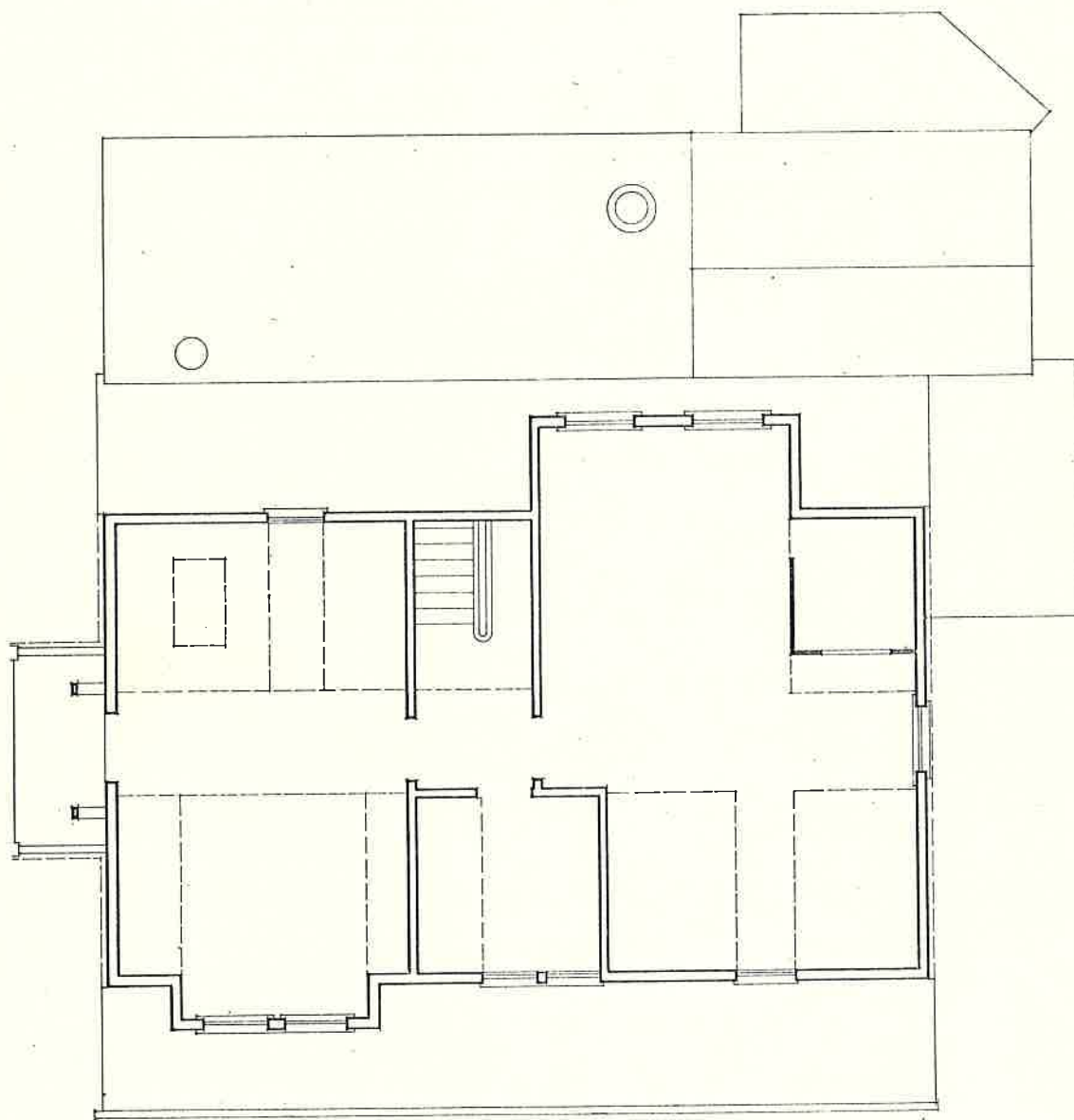
THE OLDEST HOUSE - AS EXISTING MAY 1975 - FIRST FLOOR



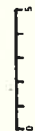
THE OLDEST HOUSE - PROPOSED RENOVATION - FIRST FLOOR



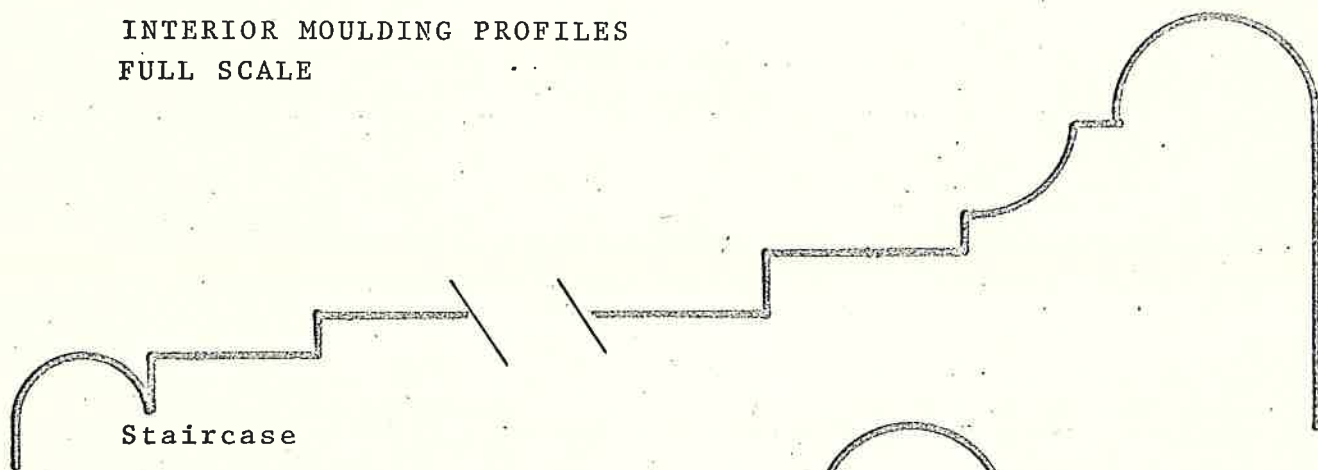
THE OLDEST HOUSE - AS EXISTING MAY 1975 - SECOND FLOOR



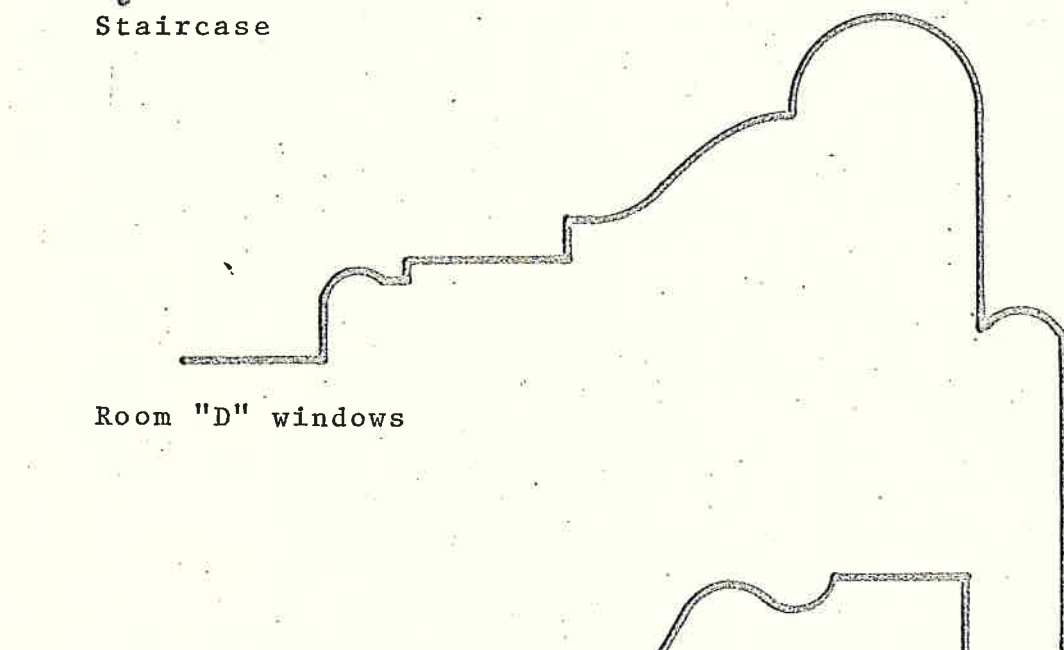
THE OLDEST HOUSE - PROPOSED RENOVATION -- SECOND FLOOR



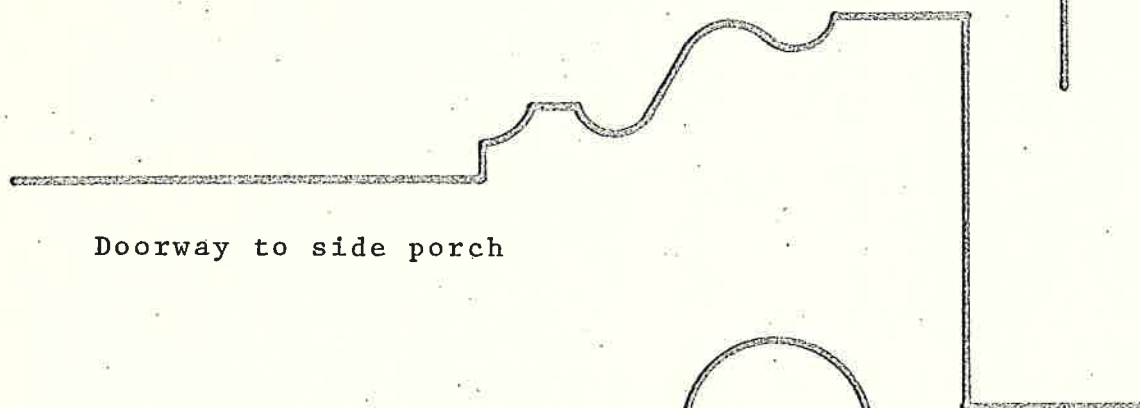
INTERIOR MOULDING PROFILES
FULL SCALE



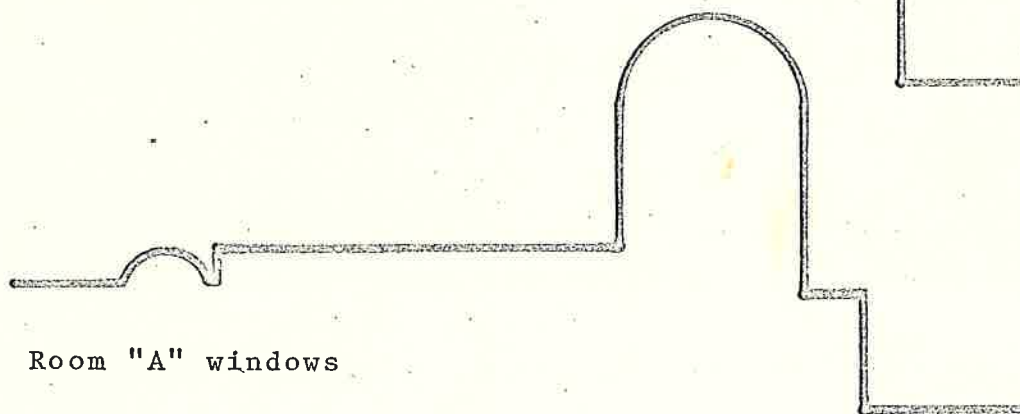
Room "D" windows



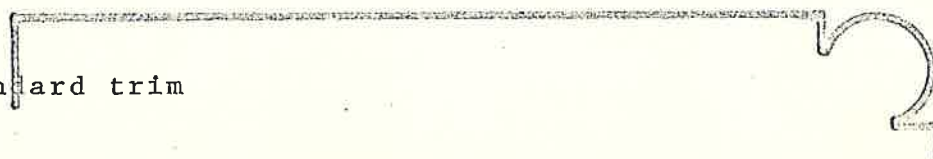
Doorway to side porch



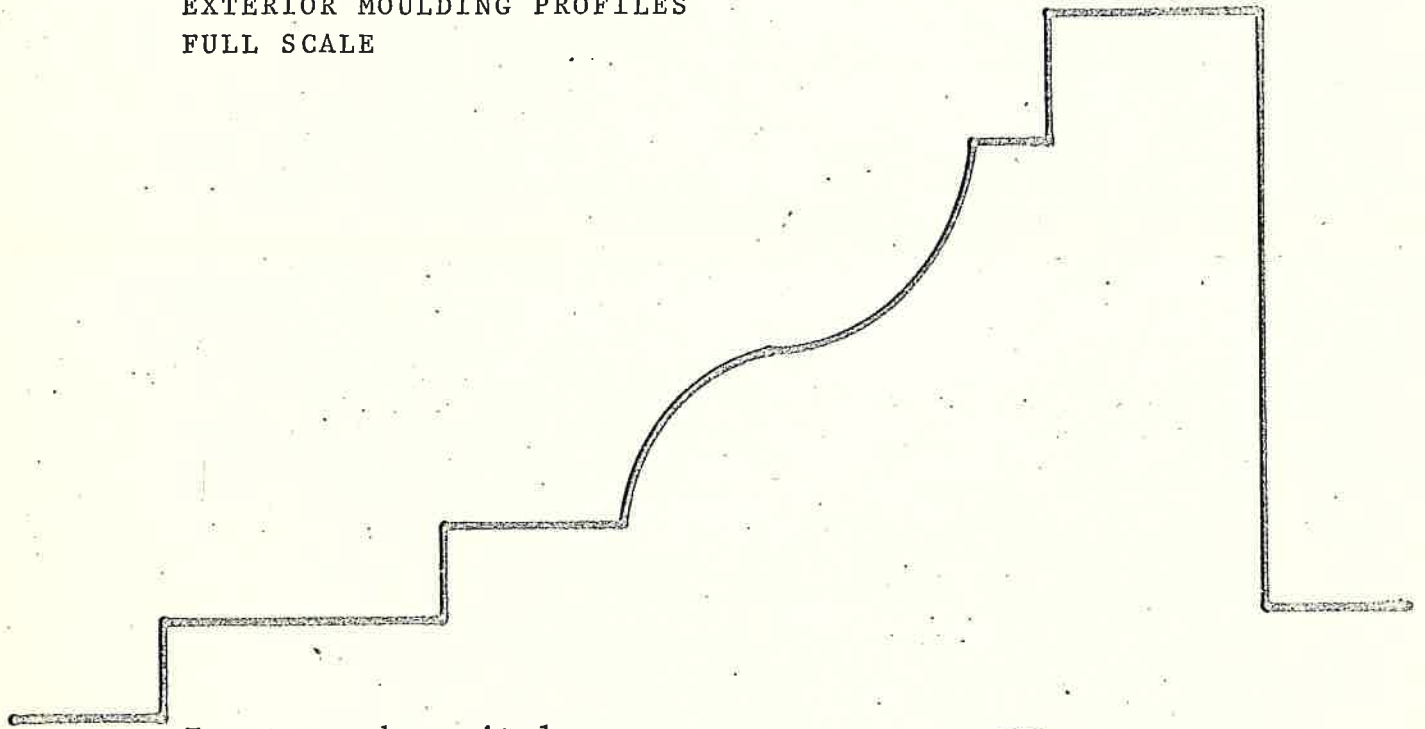
Room "A" windows



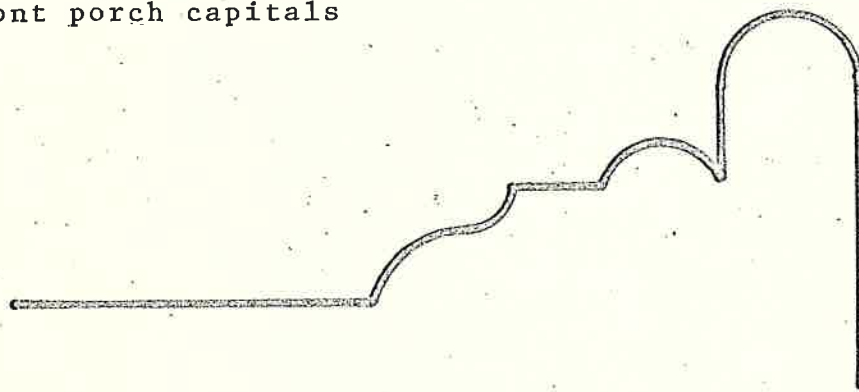
Standard trim



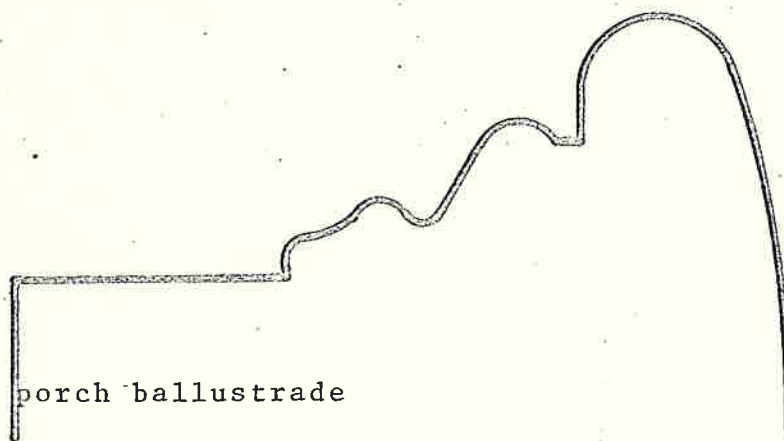
EXTERIOR MOULDING PROFILES
FULL SCALE



Front porch capitals



Side porch newel post



Side porch ballustrade

